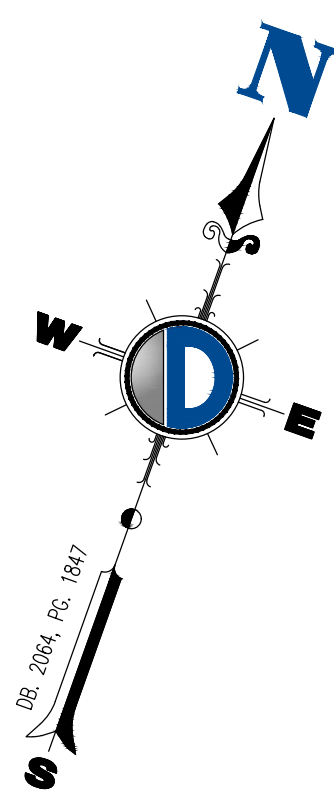


GENERAL NOTES

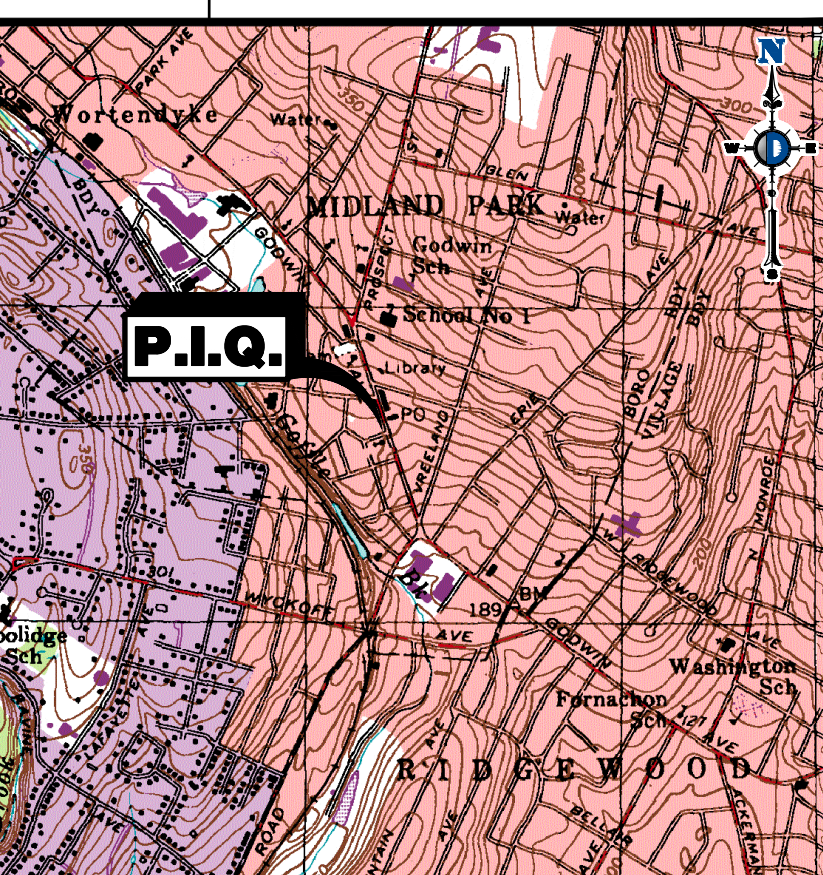
1. THE LOT AND BLOCK NUMBERS SHOWN ARE BASED ON THE TAX MAP OF THE BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY, SHEET NO. 7.
2. HORIZONTAL DATUM - BASED ON DEED BOOK 2064, PAGE 1847.
3. VERTICAL DATUM - NAVD 88 (GEOID 12A), BASED ON GPS FIELD OBSERVATIONS PERFORMED BY DYNAMIC SURVEY ON JULY 28, 2020, UTILIZING THE LEICA RTK CORS NETWORK.
4. FIELD WORK PERFORMED BY DYNAMIC SURVEY ON JULY 28, 2020.
5. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. PROPERTY IS SUBJECT TO SUB-SURFACE CONDITIONS AND/OR ENCROACHMENTS NOT DISCLOSED BY PUBLIC RECORD, IF ANY.
6. DYNAMIC SURVEY MAKES NO GUARANTEES THAT ALL UTILITIES ARE SHOWN AND ANY LOCATIONS SHOWN ARE APPROXIMATE BASED ON MARKOUT UNLESS NOTED OTHERWISE. ALL UTILITY LOCATIONS MUST BE VERIFIED WITH THE PROPER UTILITY COMPANIES PRIOR TO ADDITIONAL DESIGN, EXCAVATION OR CONSTRUCTION. CONTACT UTILITIES TOLL FREE 1-800-272-1000.
7. NOT ALL LOT LINES OUTSIDE THE BOUNDARY OF THE SUBJECT PROPERTY SHOWN HEREON HAVE BEEN FIELD SURVEYED AND ARE SHOWN AS A GRAPHICAL REPRESENTATION OF EXISTING LOT LINES BASED ON DEED, FILED MAPS AND TAX MAP INFORMATION.
8. BY GRAPHICAL PLOTTING THE PREMISES IS LOCATED IN ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER: 3400301574, COMMUNITY NAME: BOROUGH OF MIDLAND PARK, EFFECTIVE DATE: 08/28/2018.
9. NO WETLANDS DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. THE EXISTENCE OR NONEXISTENCE OF WETLANDS OR OPEN WATERS THAT MAY BE REGULATED BY THE STATE OF NEW JERSEY AND/OR THE GOVERNMENT OF THE UNITED STATES IS NOT A PART OF THIS SURVEY.
10. NO ATTEMPT WAS MADE OR LIABILITY IS ASSUMED TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS.
11. THE OFFSETS SHOWN ON THIS PLAN SHALL NOT BE USED AS THE BASIS FOR THE CONSTRUCTION OF FENCES OR ANY OTHER PERMANENT STRUCTURES.
12. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. OTHER DOCUMENTS OF RECORD MAY EXIST THAT WOULD AFFECT THIS PARCEL.
13. SUBJECT TO ROAD RIGHT-OF-WAY, ALL EASEMENTS, ORDINANCES, COVENANTS AGREEMENTS AND/OR RESTRICTIONS OF RECORD, PERTINENT DOCUMENTS OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY ARE NOTED HEREON. OTHER DOCUMENTS OF RECORD MAY EXIST THAT WOULD AFFECT THIS PARCEL.
14. OFFSITE INFORMATION SHOWN ON SHEET TWO OF THIS SURVEY IS BASED ON 2015 NJON ORTOPHOTOGRAPHY AND IS NOT INCLUSIVE OF ALL SITE FEATURES.

DEED REFERENCES

1. DEED BOOK 2064, PAGE 1847 - LOT 5.01
2. DEED BOOK 1943, PAGE 821 - LOT 4
3. DEED BOOK 3224, PAGE 399 - LOT 9.01

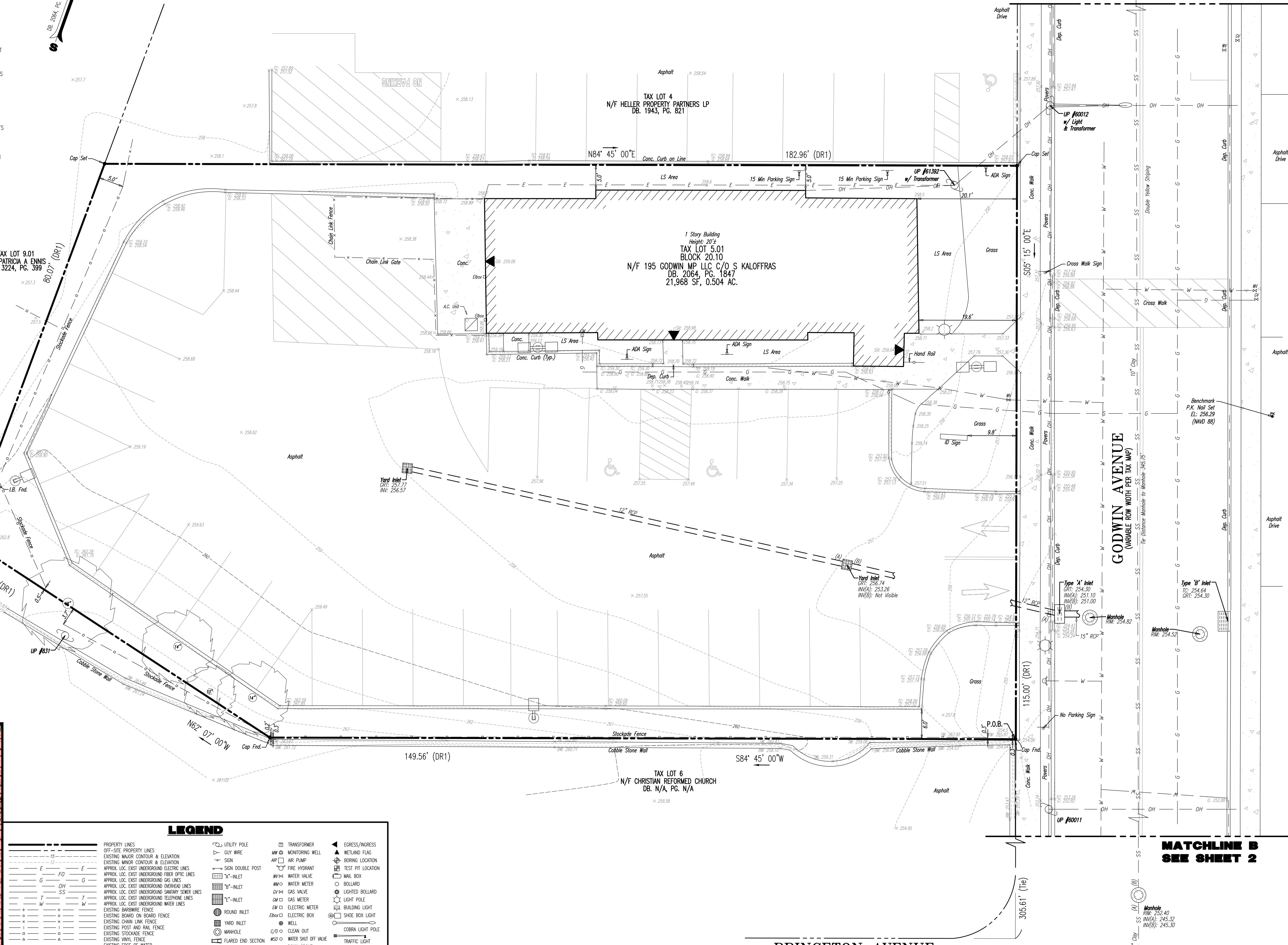


VAN BLARCOM AVENUE
(50' ROW WIDTH PER TAX MAP)



LEGEND

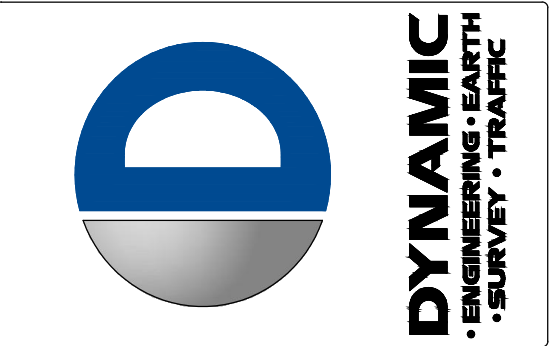
—	PROPERTY LINES	—	UTILITY POLE	⬇	EGRESS/INGRESS
- - -	OFF-SITE PROPERTY LINES	⊕	CLAY WIRE	⚠	WETLAND FLAG
—	EXISTING MAJOR CONTOUR & ELEVATION	⊕	MONITORING WELL	⊕	BORING LOCATION
—	EXISTING MINOR CONTOUR & ELEVATION	⊕	AIR PUMP	⊕	TEST PIT LOCATION
—	APPROX. LOC. EXIST. UNDERGROUND ELECTRIC LINES	⊕	FIRE HYDRANT	⊕	MAIL BOX
—	APPROX. LOC. EXIST. UNDERGROUND FIBER OPTIC LINES	⊕	WATER VALVE	⊕	BOLLARD
—	APPROX. LOC. EXIST. UNDERGROUND GAS LINES	⊕	WATER METER	⊕	LIGHTED BOLLARD
—	APPROX. LOC. EXIST. UNDERGROUND OVERHEAD LINES	⊕	GAS VALVE	⊕	LIGHT POLE
—	APPROX. LOC. EXIST. UNDERGROUND SANITARY SEWER LINES	⊕	GAS METER	⊕	BUILDING LIGHT
—	APPROX. LOC. EXIST. UNDERGROUND TELEPHONE LINES	⊕	ELECTRIC METER	⊕	SHOKE BOX LIGHT
—	APPROX. LOC. EXIST. UNDERGROUND WATER LINES	⊕	ELECTRIC BOX	⊕	COBRA LIGHT POLE
—	EXISTING CHAIN LINK FENCE	⊕	WELL	⊕	TRAFFIC LIGHT
—	EXISTING BOARD ON BOARD FENCE	⊕	CLEAN OUT	⊕	EXCEPTION
—	EXISTING CHAIN LINK FENCE	⊕	WATER SHUT OFF VALVE	⊕	PARKING STALL COUNT
—	EXISTING POST AND RAIL FENCE	⊕	DOWN SPOUT	⊕	
—	EXISTING STOCKADE FENCE	⊕	TELEPHONE BOX	⊕	
—	EXISTING WIRE FENCE	⊕	VALVE UNKNOWN	⊕	
—	EXISTING EDGE OF WATER	⊕		⊕	
—	EXISTING WETLANDS LINES	⊕		⊕	
—	EXISTING SANITARY SEWER	⊕		⊕	
—	EXISTING STORM SEWER	⊕		⊕	



**MATCHLINE A
SEE SHEET 2**

**MATCHLINE B
SEE SHEET 2**

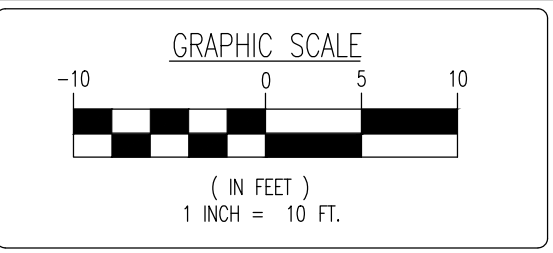
PRINCETON AVENUE
(50' ROW WIDTH PER TAX MAP)



REV.	DATE	BY	CHK.	DESCRIPTION
1	11/10/20			UPDATED SANITARY SEWER AND SET PROPERTY CORNERS
2	2/9/2021			ADDED OFFSITE INFORMATION

SURVEY LEGEND:

(MR)	MMP REFERENCE	⊕	BENCHMARK
(DR)	DEED REFERENCE	⊕	CONC. MONUMENT FND
(S)	SURVEY	⊕	CONC. MONUMENT SET
(BOS)	BOTTOM OF STRUCTURE	⊕	LP / LB. SET
(TOS)	TOP OF STRUCTURE	⊕	STAKE FND
(AKA)	ALSO KNOWN AS	⊕	FORMERLY KNOWN AS
(FKA)	FORMERLY KNOWN AS	⊕	STAKE SET
(C/L)	CENTERLINE	⊕	FK NAIL FND
> 0.00	SPOT ELEVATIONS	⊕	FK NAIL SET
> 0.00	GUTTER ELEV.	⊕	DRILL HOLE FND
> 10.00	TOP OF CURB ELEV.	⊕	DRILL HOLE SET
> 10.00	FINISH FLOOR ELEV.	⊕	SURVEY STONE FND
> 0.00	GARAGE FLOOR ELEV.	⊕	SURVEY CAP FND
> 0.00	BOTTOM OF WALL ELEV.	⊕	CROSS CUT FND
> 10.00	TOP OF WALL ELEV.	⊕	CROSS CUT SET
> 10.00	WATER SURFACE ELEV.	⊕	P.O.B. POINT OF BEGINNING



DYNAMIC SURVEY LLC
BOUNDARY & TOPOGRAPHIC SURVEY • FINAL SURVEYS
HYDROGRAPHIC SURVEY • CONSTRUCTION STAKEOUT
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Newtown, Pennsylvania • 1.847.885.0276
Aberdeen, Maryland • 1.972.534.2100
Houston, Texas • 281.399.6400
Austin, Texas • 1.512.644.3844
Delray Beach, Florida • 1.561.921.8070

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PROJECT: ABBD CAPITAL EXISTING CONDITIONS
BLOCK 20.10, LOT 5.01
195 GODWIN AVENUE
BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

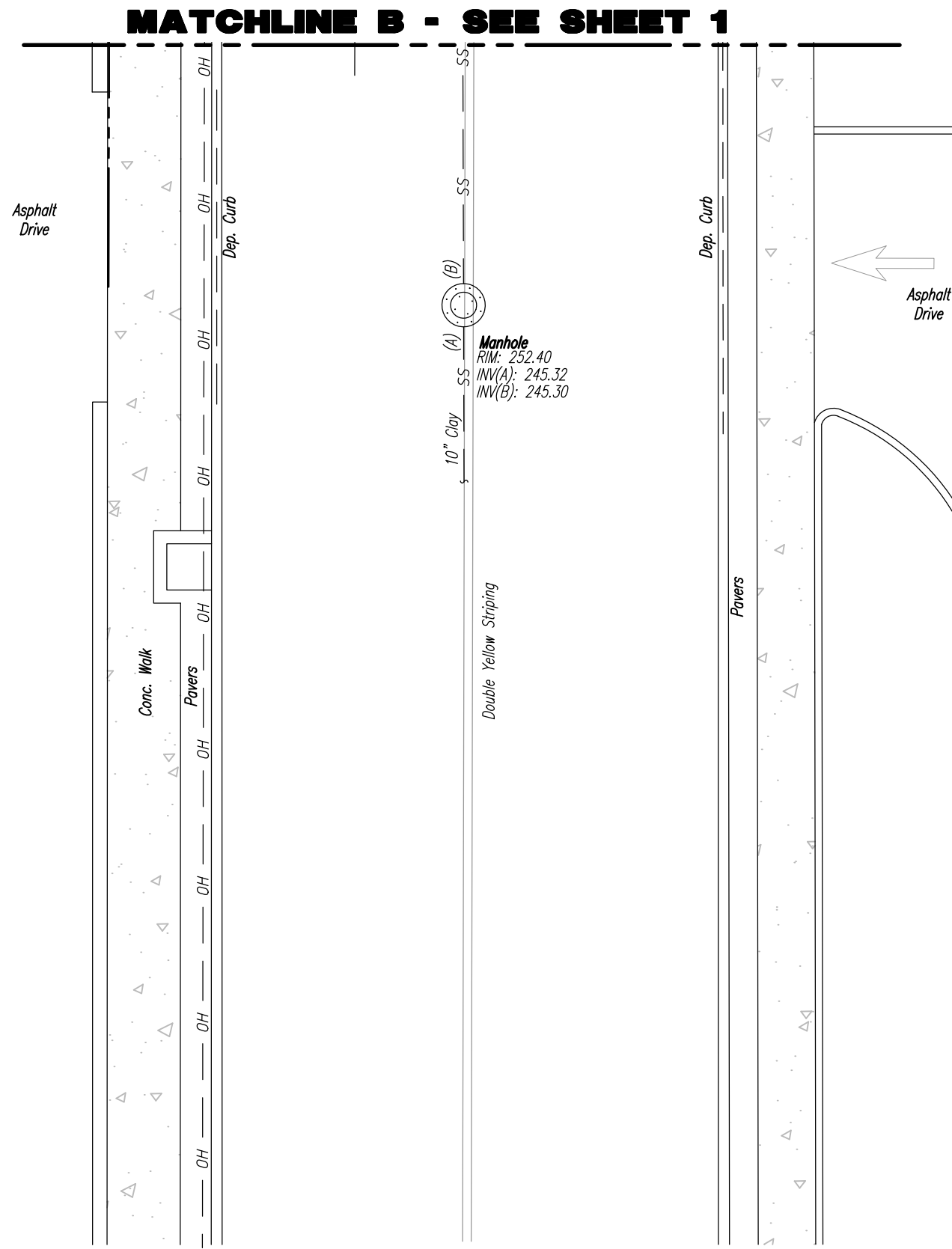
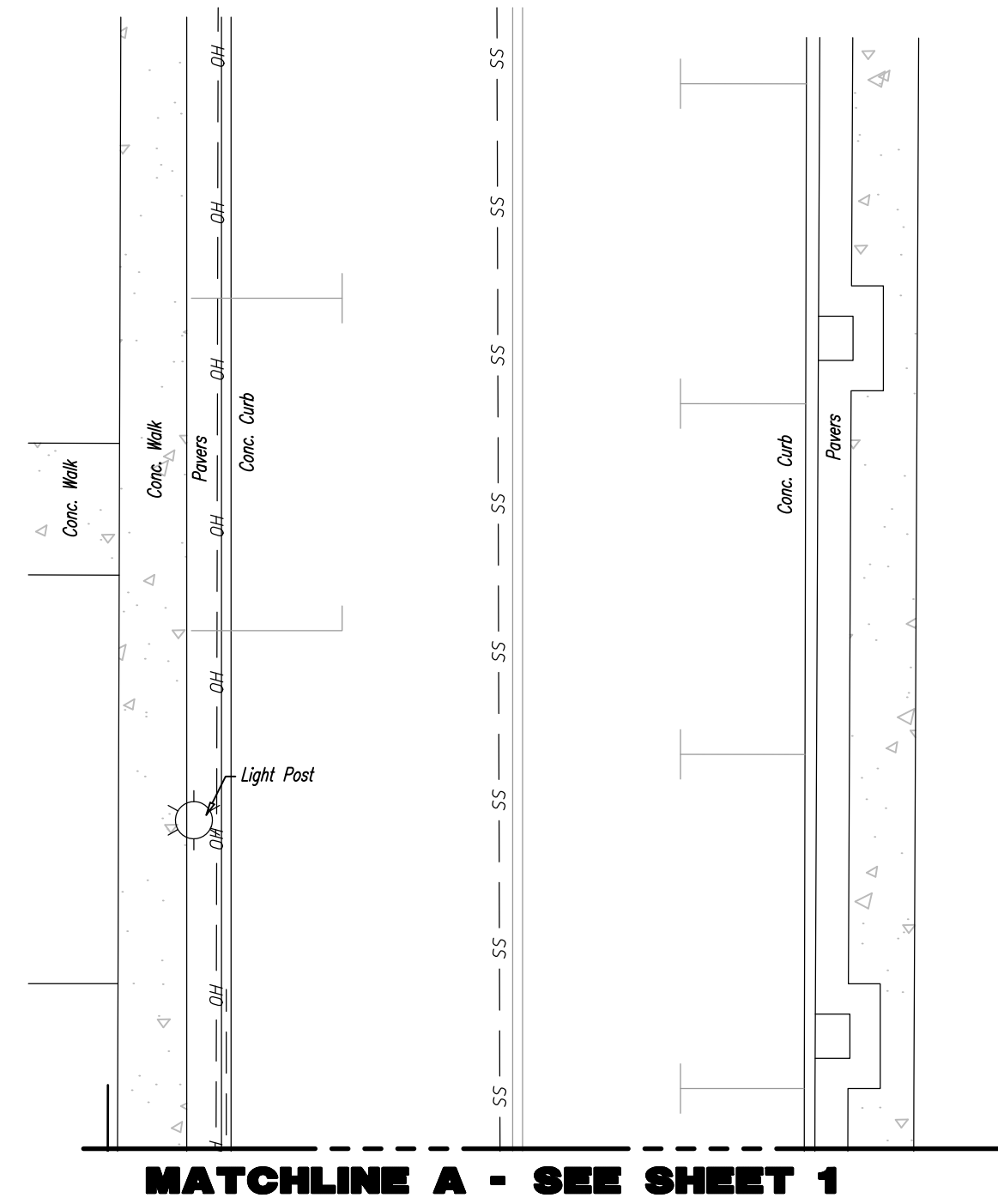
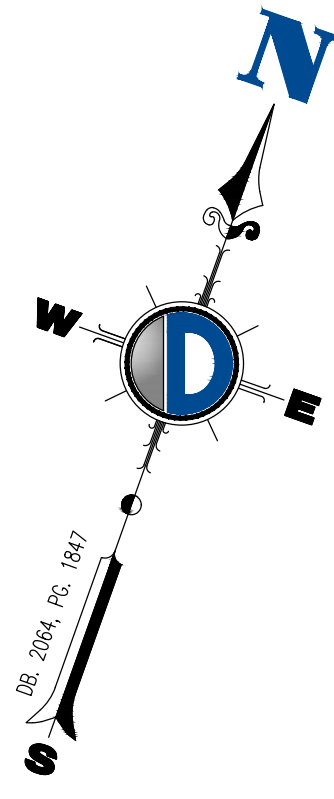
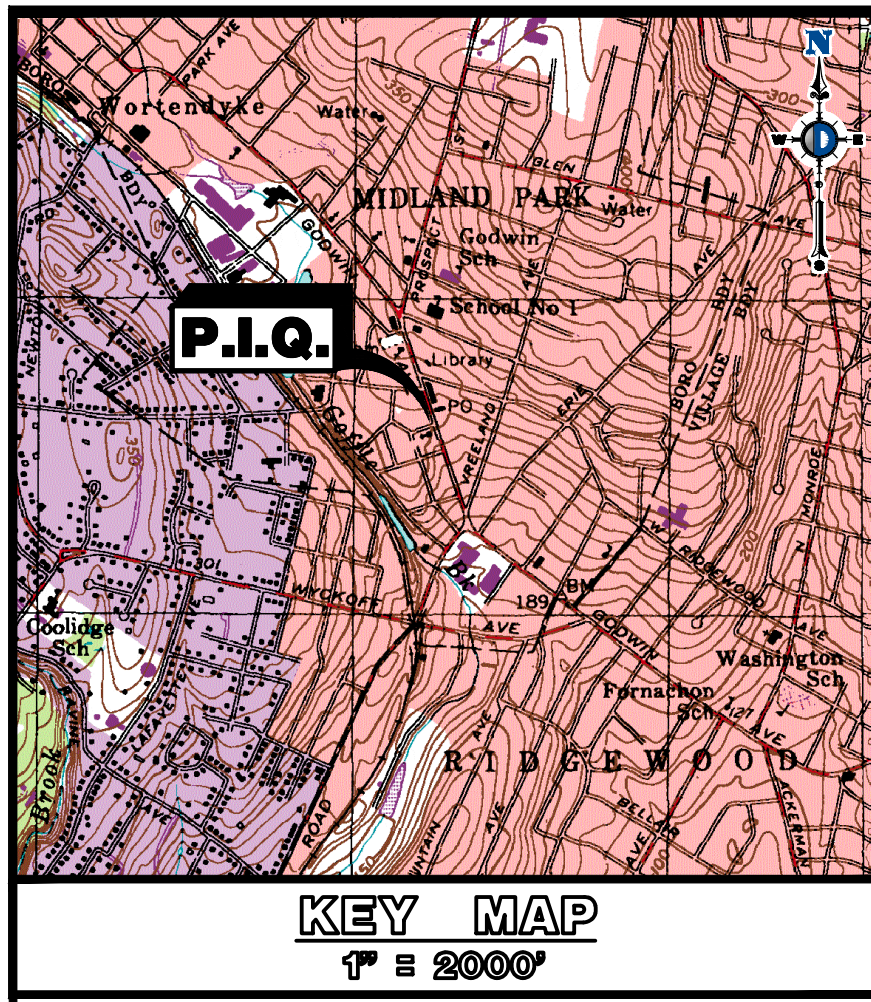
CRAIG BLACK
Craig Black
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE NO. 246904257400

Only copies of the original survey with an original land surveyor's embossed seal shall be considered to be valid copies. Signature and embossed seal signify that this certification was prepared in accordance with the existing code of practice adopted by the NJ State Board of Professional Engineers and Land Surveyors. Certifications indicated herein shall run only to the person for whom the certification is prepared, and on his behalf to the title company, governmental agency and lending institution listed herein. Certifications are not transferable to additional institutions or subsequent owners. Unauthorized alteration or addition to a certification bearing a licensed land surveyor's seal is illegal and punishable by law. Property subject to documents of record.

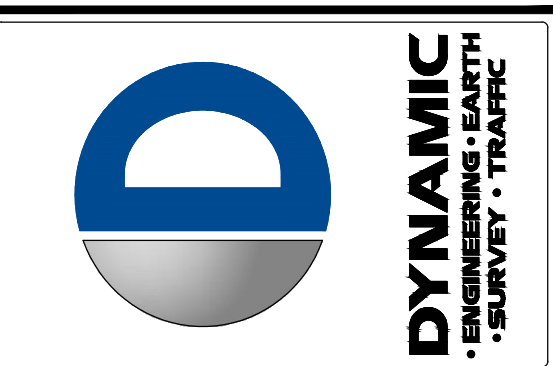
TITLE: BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT No:	3486-99-001S	SCALE:	1"=10'	DATE:	08/10/2020
DRAWN BY:	DCR	FIELD BY:	SAD/JRC	CHECKED BY:	RTC

SHEET No:	1	Rev. #:	1
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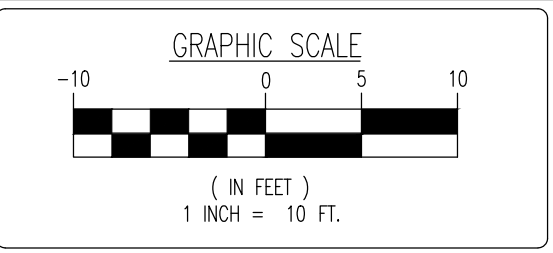
LEGEND	
---	PROPERTY LINES
---	OFF-SITE PROPERTY LINES
---	EXISTING MAJOR CONTOUR & ELEVATION
---	EXISTING MINOR CONTOUR & ELEVATION
---	APPROX. LOC. EXIST. UNDERGROUND ELECTRIC LINES
---	APPROX. LOC. EXIST. UNDERGROUND FIBER OPTIC LINES
---	APPROX. LOC. EXIST. UNDERGROUND GAS LINES
---	APPROX. LOC. EXIST. UNDERGROUND OVERHEAD LINES
---	APPROX. LOC. EXIST. UNDERGROUND SANITARY SEWER LINES
---	APPROX. LOC. EXIST. UNDERGROUND TELEPHONE LINES
---	APPROX. LOC. EXIST. UNDERGROUND WATER LINES
---	EXISTING BARBICURE FENCE
---	EXISTING BOARD ON BOARD FENCE
---	EXISTING CHAIN LINK FENCE
---	EXISTING POST AND RAIL FENCE
---	EXISTING STOCKADE FENCE
---	EXISTING VINYL FENCE
---	EXISTING EDGE OF WATER
---	EXISTING WETLANDS LINES
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
○	UTILITY POLE
○	GLY WIRE
○	SION
○	SION DOUBLE POST
○	"X"-INLET
○	"T"-INLET
○	"E"-INLET
○	ROUND INLET
○	YARD INLET
○	MANHOLE
○	FLARED END SECTION
○	HEADWALL
○	DECIDUOUS TREE
○	EVERGREEN TREE
○	SHRUB
○	TRANSFORMER
○	MONITORING WELL
○	AIR PUMP
○	FIRE HYDRANT
○	WATER VALVE
○	WATER METER
○	GAS VALVE
○	GAS METER
○	ELECTRIC METER
○	ELECTRIC BOX
○	WELL
○	CLEAN OUT
○	WATER SHUT OFF VALVE
○	DOWN SPOUT
○	TELEPHONE BOX
○	VALVE UNKNOWN
▲	EGRESS/INGRESS
▲	WETLAND FLAG
○	BORING LOCATION
○	TEST PIT LOCATION
○	MAIL BOX
○	BOLLARD
○	LIGHTED BOLLARD
○	LIGHT POLE
○	BUILDING LIGHT
○	SHOE BOX LIGHT
○	COBRA LIGHT POLE
○	TRAFFIC LIGHT
○	EXCEPTION
○	PARKING STALL COUNT



REV.	DATE	COMMENTS
1	11/10/2020	UPDATED SANITARY SEWER AND SET PROPERTY CORNERS
2	2/7/2021	ADDED OFFSITE INFORMATION

SURVEY LEGEND:

(MR)	MAP REFERENCE	⊕	BENCHMARK
(DR)	DEED REFERENCE	□	CONC. MONUMENT FND
(S)	SURVEY	■	CONC. MONUMENT SET
(BOS)	BOTTOM OF STRUCTURE	○	IP. / LB. FND
(TOS)	TOP OF STRUCTURE	●	IP. / LB. SET
(AKA)	ALSO KNOWN AS	■	STATE FND
(FKA)	FORMERLY KNOWN AS	■	STATE SET
(C/L)	CENTERLINE	■	FK MAIL FND
< 0.00	SPOT ELEVATIONS	○	FK MAIL SET
> 0.00	GUTTER ELEV.	○	DRILL HOLE FND
> 10.00	TOP OF CURB ELEV.	○	DRILL HOLE SET
> 10.00	FINISH FLOOR ELEV.	○	SURVEY STONE FND
> 10.00	GRADE FLOOR ELEV.	○	SURVEY CAP FND
> 10.00	BOTTOM OF WALL ELEV.	○	CROSS CUT FND
> 10.00	TOP OF WALL ELEV.	○	CROSS CUT SET
> 10.00	WATER SURFACE ELEV.	○	P.O.B. POINT OF BEGINNING



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 Austin, Texas • 1.512.644.3644
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PROJECT:
ABDD CAPITAL
EXISTING CONDITIONS
 BLOCK 20.10, LOT 5.01
 195 GODWIN AVENUE
 BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

CRAIG BLACK
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TITLE:
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT No:	3486-99-001S	SCALE:	1"=10'	DATE:	08/10/2020
DRAWN BY:	DCR	FIELD BY:	SAD/JRC	CHECKED BY:	RTC

SHEET No: **2** OF 2
 Rev. #: 1