

PRELIMINARY AND FINAL SITE PLAN

FOR
ABDD V. LLC

PROPOSED DUNKIN' DRIVE-THRU RESTAURANT

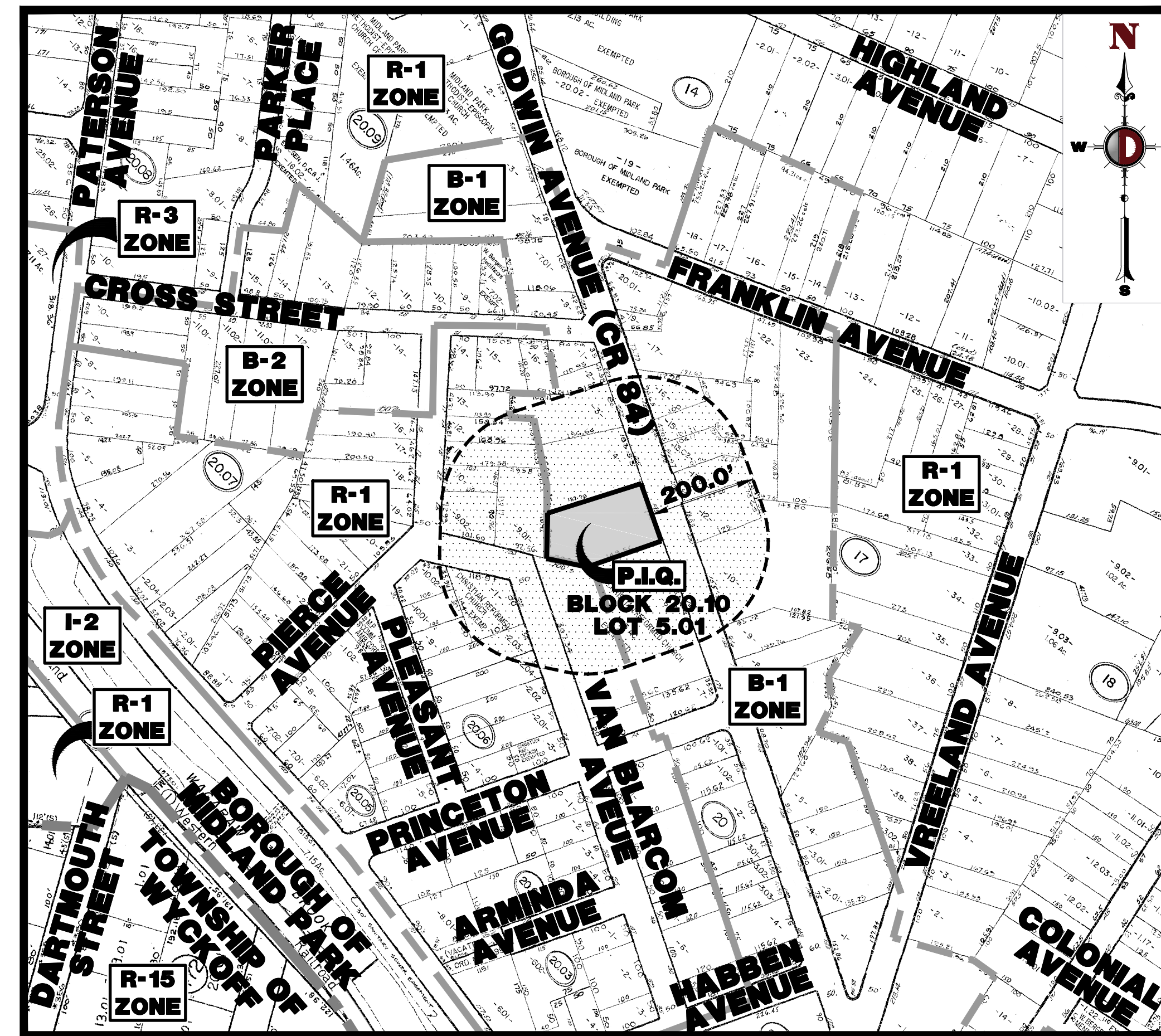
BLOCK 20.10, LOT 5.01; TAX MAP SHEET #7 - LATEST REV. DATED 10-1937

195 GODWIN AVENUE (CR 84)
BOROUGH OF MIDLAND PARK
BERGEN COUNTY, NEW JERSEY

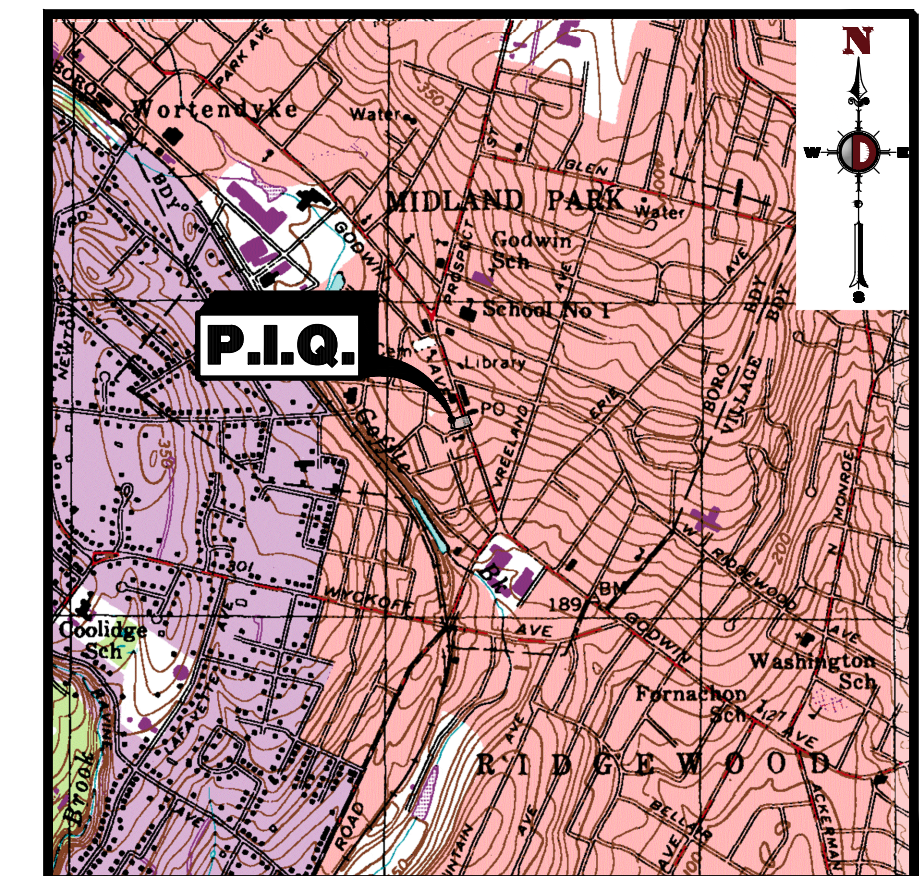


200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	LOT	BLOCK
BRD HEALTH LLC 190 GODWIN AVENUE MIDLAND PARK, NJ 07432	17	10	VAN STEVENNIK, WILLIAM 26 PIERCE AVE MIDLAND PARK, NJ 07432	40.10	9.02
CUCIPIULOS, GREGORY 258 WOODSIDE AVE FRANKLIN LAKES NJ 07417	17	12	MALONE, PETER & ETAL 22 PIERCE AVE MIDLAND PARK, NJ 07432	20.10	10
208 GODWIN LLC C/O E HUTCHINSON P. O. BOX 14927 WILSON, NJ 08014	17	13.01	RAZONE, SAMULICA & ARNA, MARTINE E 18 PIERCE AVENUE MIDLAND PARK, NJ 07432	20.10	11
JEFFER, PETER A 272 GODWIN AVE, PO BOX 7 MIDLAND PARK, NJ 07432	17	13.02	VETERLEIN, NICHOLAS D 14 PIERCE AVE MIDLAND PARK, NJ 07432	20.10	12
ELPA IRE MANAGEMENT LLC 27 WHITE AVENUE MIDLAND PARK, NJ 07432	17	15.01	KOENEN, LUVERNE M & HELEN P 12 PIERCE AVE MIDLAND PARK, NJ 07432	20.10	13
PEPPERDICK LLC C/O PHILLIPS 434 LINWOOD AVENUE ROCKEFORD, NJ 07430	17	17	LOGAN, DARAN & HEATHER 11 CROSS AVE MIDLAND PARK, NJ 07432	20.10	16
CHRISTIAN REFORMED CHURCH 183 GODWIN AVE MIDLAND PARK, NJ 07432	20.06	1	ALSO TO BE NOTICED:		
PARDOSON, GREGORY ETAL 24 PLEASANT AVE MIDLAND PARK, NJ 07432	20.06	2.03	PREAS MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA 10B NEWARK, NJ 07102		
BOSCH, KAREN E 22 PLEASANT AVE MIDLAND PARK, NJ 07432	20.06	2.04	VILLAGE OF HODGWOOD WATER DEPARTMENT DIRECTOR 131 N MAPLE AVENUE ROCKEFORD, NJ 07430		
HARMON, JOHN 28 PLEASANT AVE MIDLAND PARK, NJ 07432	20.06	9	CABLEVISION C/O CORPORATE SECRETARY 40 PERSH ROAD OKLAND, NJ 07436		
JANE, KONESKA A & KRZYSZTOF 28 PLEASANT AVE MIDLAND PARK, NJ 07432	20.06	10.01			
EMMS, PATRICK A 102 VAN BLARCOM AVE MIDLAND PARK, NJ 07432	20.06	10.02	VERIZON ENGINEERING MANAGER, FRANK SCUZZO 114 PATERSON STREET PATERSON, NJ 07501		
SENGOKU LLC 463 LIVINGSTON ST #102 NOWICKI, NJ 07046	20.10	2	BERGEN COUNTY PLANNING BOARD ONE BERGEN COUNTY PLAZA HACKENSACK, NJ 07601		
WOLK, LEO 467 CRANE AVENUE CARLETON, NJ 07028	20.10	3			
HELLER PROPERTY PARTNERS LP 180 MAIN ST PO BOX 700 MIDWORTH, NJ 07940	20.10	4			
CHRISTIAN REFORMED CHURCH 183 GODWIN AVE MIDLAND PARK, NJ 07432	20.10	6			



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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APPROVAL BLOCK

APPROVED BY THE COUNTY
PLANNING BOARD COUNTY OF
BERGEN, NEW JERSEY

ATTESTED TO BY: _____ DATE _____

ZONING BOARD OF ADJUSTMENT APPROVAL

APPROVED AT THE ZONING BOARD OF ADJUSTMENT OF THE MIDLAND PARK, NEW JERSEY

CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

BOARD ENGINEER _____ DATE _____

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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TITLE: **COVER SHEET**

PROJECT: **ABDD V. LLC
PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**

DUNKIN' BLOCK 20.10, LOT 5.01
195 GODWIN AVENUE (CR 84)
BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001 DATE: 11/12/2020

DRAWN BY: RAU SCALE: (H) AS (V) SHOWN

DESIGNED BY: KCK SHEET No: **1**

CHECKED BY: JMS

CHECKED BY: _____

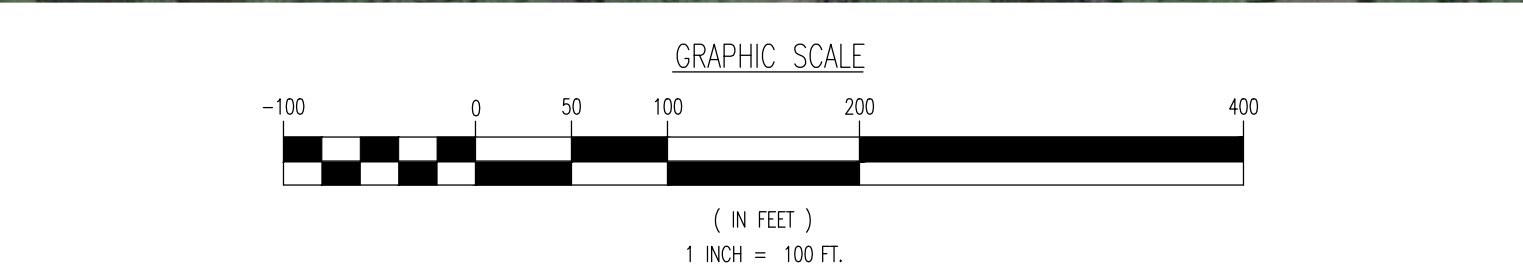
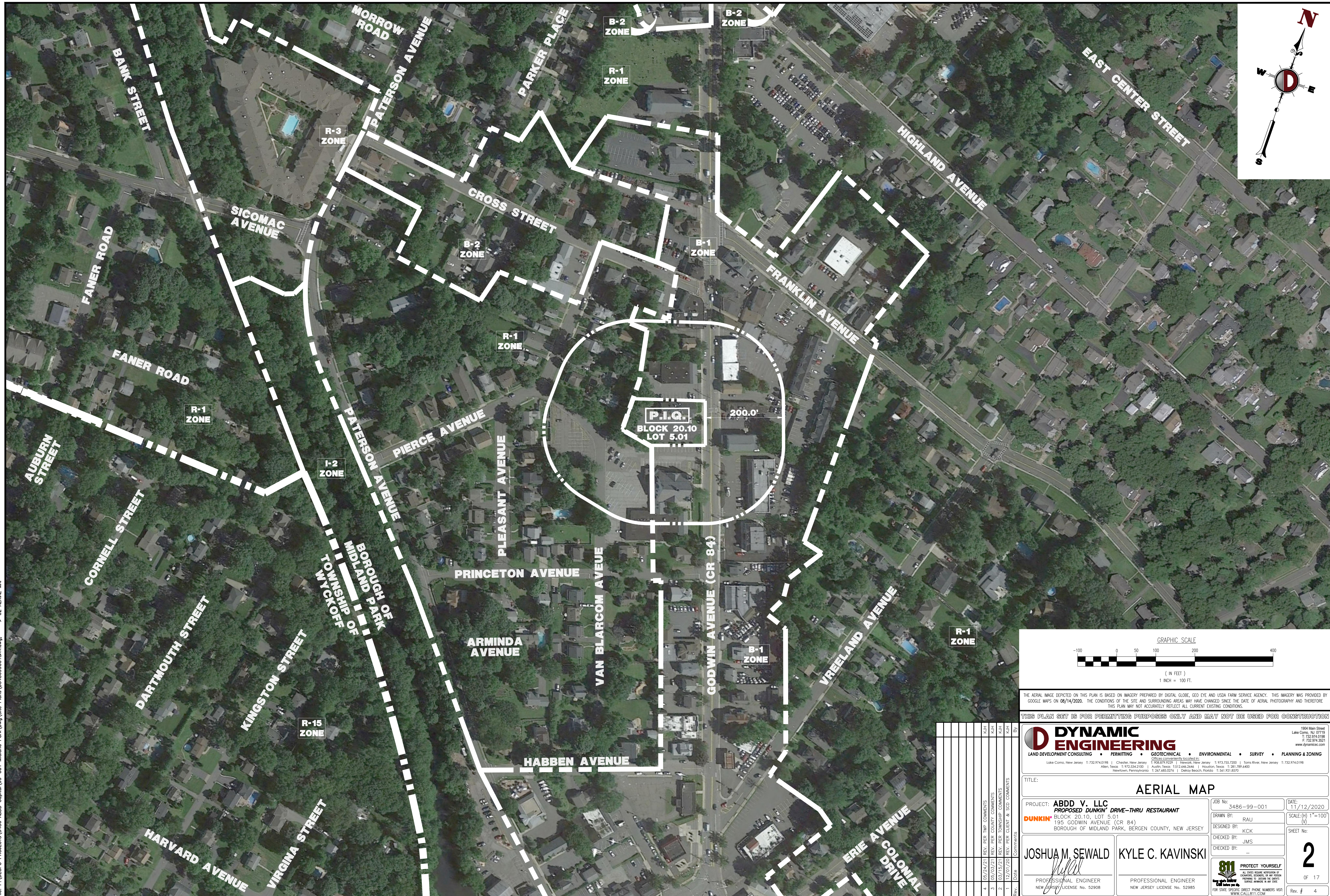
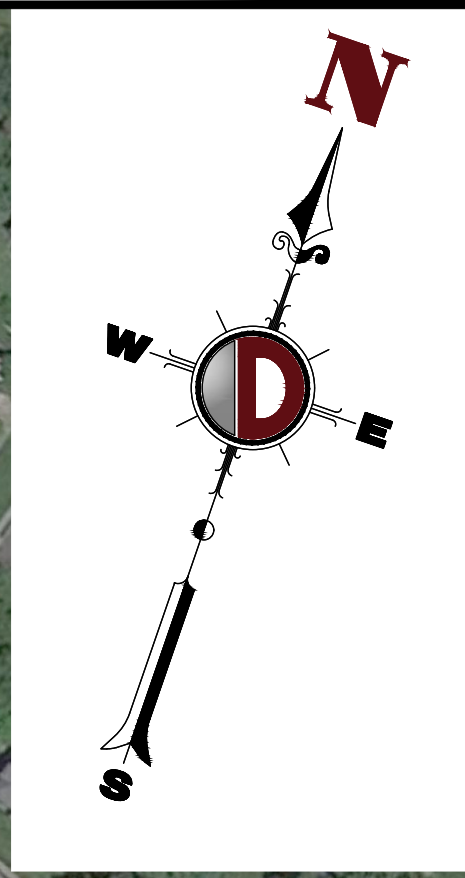
JOSHUA M. SEWALD **KYLE C. KAVINSKI**

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52985

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
UNDERGROUND UTILITIES. IF ANY UTILITIES
ARE LOCATED AT THE SITE'S
ADDRESS, CALL 811
FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT
WWW.CALL811.COM

Rev. # 4



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 06/14/2020. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 New York, Pennsylvania 1: 267.865.0274 | Denville, New Jersey 1: 943.921.8270

TITLE: **AERIAL MAP**

PROJECT: **ABDD V. LLC
 PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**

DUNKIN'
 BLOCK 20.10, LOT 5.01
 195 GODWIN AVENUE (CR 84)
 BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001 DATE: 11/12/2020
 DRAWN BY: RAU SCALE: (H) 1"=100'
 DESIGNED BY: KCK (V)
 CHECKED BY: JMS SHEET No:
 CHECKED BY: -

JOSHUA M. SEWALD **KYLE C. KAVINSKI**
 PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52908 NEW JERSEY LICENSE No. 52985

811 PROTECT YOURSELF
 ALL UTILITIES SHOULD BE MARKED BY
 CALLING 811 OR VISUALLY BEFORE
 ANY EXCAVATION OR DRILLING
 OPERATIONS TO AVOID DAMAGE TO
 UTILITIES AND PERSONAL INJURY.
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Rev. # 4

Plotted: 05/28/21 - 7:40 AM, By: kshee, Product Ver: 24.0s (LMS Tech)
 File: P:\VEPC PROJECTS\3486 ABDD Coplot\99-001 Midland Park\Site Plans\348699001SMA.dwg, ---> 02 AERIAL MAP

GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING: BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY: DYNAMIC SURVEY, LLC 190 MAIN STREET LAKE COMO, NJ 07719 FILE # 3486-99-0015 DATE: 08/10/2020
- APPLICANT: ABD V. LLC 245 AMITY ROAD SUITE 200 WOODBRIDGE, CT 06525
- OWNER: 195 GODWIN MP LLC C/O S KALOFRASS 826 CARTE LANE PARAMUS, NJ 07652
- PARCEL DATA: BLOCK 20.10, LOT 5.01 190 MAIN STREET WOODLAND PARK BERGEN COUNTY, NJ
- ZONE: B-1 (BUSINESS RETAIL) ZONE
- EXISTING USE: RESTAURANT (PERMITTED USE) (§ 34-7.1(A)(7))
- PROPOSED USE: DUNKIN' DRIVE-THRU RESTAURANT (CONDITIONALLY PERMITTED USE) (§ 34-7.1(B)(7))
- SCHEDULE OF ZONING REQUIREMENTS (§ 34-2.2 – SCHEDULE I)

ZONE REQUIREMENT	B-1 ZONE	EXISTING	PROPOSED
MINIMUM LOT AREA	6,000 SF [2]	21,988 SF (0.50 AC)	21,988 SF (0.50 AC)
MINIMUM LOT WIDTH	60 FT [2]	115.00 FT	115.00 FT
MINIMUM LOT DEPTH	100 FT [2]	149.6 FT	149.6 FT
MINIMUM FRONT YARD SETBACK	25 FT [2]	19.6 FT (E)	25.4 FT
MINIMUM REAR YARD SETBACK	25 FT	85.7 FT	60.4 FT
MINIMUM SIDE YARD SETBACK	12 FT [1]	5.0 FT (E)	25.8 FT
MINIMUM SUM OF BOTH SIDE YARD SETBACKS	12 FT [1]	79.7 FT	74.8 FT
MAXIMUM BUILDING HEIGHT	30 FT/2.5 STORES [2]	<30 FT/2.5 STORES	<30 FT/2.5 STORES
MAXIMUM BUILDING COVERAGE	30% [2]	11.5% (2,534 SF)	9.89% (2,173 SF)
MAXIMUM IMPROVED LOT COVERAGE	75% [2]	78.8% (17,312 SF) (E)	72.2% (15,853 SF) *

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE
 [1] FOR ALL NON-RESIDENTIAL LOTS ADJACENT TO ANY RESIDENTIAL ZONING DISTRICT, THE SIDE YARD REQUIREMENT SHALL BE THE GREATER OF 20 FEET OR THE HEIGHT OF THE BUILDING. [2] THESE CONDITIONS MUST BE MET IN THE B-1 DISTRICT. (§ 34-7.3)
 * NET REDUCTION OF 1,459 SF OF IMPERVIOUS AREA

- QUICK SERVICE RESTAURANT CONDITIONAL USE REQUIREMENTS
 - FOR ALL QUICK-SERVICE RESTAURANTS THE LOT OR PARCEL OF LAND SO TO BE USED SHALL HAVE A MINIMUM STREET FRONTAGE OF AT LEAST ONE HUNDRED TWENTY-FIVE (125) FEET AND AN AVERAGE LOT DEPTH OF AT LEAST ONE HUNDRED FIFTY (150) FEET. (§ 34-12.3.A) (M)
 - FOR ALL QUICK-SERVICE RESTAURANTS THE GROUND FLOOR AREA OF THE BUILDING SHALL BE AT LEAST TWO THOUSAND FOUR HUNDRED (2,400) GROSS SQUARE FEET IN AREA. (§ 34-12.3.B) (M)
 - FOR ALL QUICK-SERVICE RESTAURANTS THE WALLS OF THE BUILDING SHALL BE LOCATED AT LEAST FIFTY (50) FEET FROM AN ADJOINING STREET RIGHT-OF-WAY, TWENTY-FIVE (25) FEET FROM A SIDE OF PROPERTY LINE AND FIFTY (50) FEET FROM A REAR PROPERTY LINE. (§ 34-12.3.C) (M)
 - ALL PERFORMANCE STANDARDS ESTABLISHED IN § 34-19 HEREIN, AND IN CHAPTER 32, SITE PLAN REVIEW, SHALL ALSO BE COMPLIED WITH WHERE APPLICABLE. (§ 34-12.3.E) (M)
 - ALL OFF-STREET PARKING AND LOADING REQUIREMENTS SET FORTH IN §34-16 HEREIN, AND IN CHAPTER 32, SITE PLAN REVIEW, SHALL BE COMPLIED WITH. (§ 34-12.3.F) (M)
 - ALL BUFFER ZONE AND LANDSCAPING REQUIREMENTS AS PROVIDED IN §34-15 HEREIN, AND IN CHAPTER 32, SITE PLAN REVIEW, SHALL BE COMPLIED WITH. (§ 34-12.3.G) (M)
 - ALL SIGNS AND SIGNAGE REQUIREMENTS AS PROVIDED IN § 34-17 HEREIN, AND IN CHAPTER 32, SITE PLAN REVIEW, SHALL BE COMPLIED WITH. (§ 34-12.3.H) (M)
 - ESTABLISHMENTS SERVING FOOD OR DRINK FOR CONSUMPTION ON THE PREMISES BUT OUTSIDE AN ENCLOSED BUILDING ARE PERMITTED ACCORDING TO OUTDOOR DINING ORDINANCE. OUTSIDE SERVICE COUNTERS ARE PROHIBITED, HOWEVER, NOTHING CONTAINED IN THIS SUBSECTION SHALL BE DEEMED TO PREVENT OR LIMIT THE SALE OF FOOD OR REFRESHMENTS OR REFRESHMENT STANDS AT AUTHORIZED FAIRS, CARNIVALS, PUBLIC EVENTS AND THE LIKE. (§ 34-12.3.I) (M)

- PARKING REQUIREMENTS
 - OFF-STREET PARKING SHALL NOT BE LOCATED IN A REQUIRED FRONT YARD. NO OFF-STREET PARKING AREA SHALL BE LOCATED CLOSER THAN SIX (6) FEET TO A SIDE OR REAR LOT LINE. (§ 34-16.2) (M)
 - ANY DRIVE-THROUGH OR DRIVE-UP WINDOWS SHALL HAVE A MINIMUM QUEUING LINE LENGTH OF 150 FEET FROM CENTER OF THE FIRST SERVICE AREA OR WINDOW. (§ 34-16.2 – SCHEDULE I) (COMPLIES – 2007)
 - NO PARKING SPACES SHALL BE LOCATED IN ANY REQUIRED BUFFER ZONE AND ALL SPACES SHALL BE SET BACK AT LEAST ONE (1) FOOT FROM BUFFER ZONES TO PREVENT ANY PART OF A VEHICLE FROM OVERHANGING THE BUFFER ZONE. (§ 32-6.2.8)(3) (M)
 - NO PARKING SPACES SHALL BE PERMITTED IN FIRE LANES, DRIVEWAYS, AISLES, SIDEWALKS OR TURNING AREAS. (§ 32-6.2.8)(4)
 - DEAD END PARKING AISLES ARE NOT PERMITTED EXCEPT WHERE UNAVOIDABLE, AS DETERMINED BY THE PLANNING BOARD. (§ 32-6.2.0)(3)
 - EACH PARKING SPACE SHALL BE NOT LESS THAN NINE (9) FEET WIDE AND EIGHTEEN (18) FEET LONG. (§ 32-6.2.0)(1)
 - OFF-STREET PARKING AREAS SHALL HAVE PLANTING BUFFER STRIPS AT LEAST FIVE (5) FEET IN WIDTH AROUND THE PERIMETER OF THE PARKING AREA. SUCH BUFFER STRIPS SHALL BE INTERRUPTED ONLY AT POINTS OF INGRESS AND EGRESS AND WHERE THE PARKING AREA OR ACCESS DRIVE ABUTS A BUILDING ON THE SAME LOT. (§ 32-6.2.0)(3) (M)
 - WHENEVER A PARKING AREA IS ADJACENT TO OR WITHIN A RESIDENTIAL ZONING DISTRICT, THE PLANTINGS WITHIN THE BUFFER STRIP AROUND THE PERIMETER OF THE PARKING AREA SHALL BE AT LEAST FIVE (5) FEET IN HEIGHT ALONG THOSE AREAS ADJUTING THE RESIDENTIAL ZONING DISTRICT. (§ 32-6.2.0)(3)(b)
 - QUICK SERVICE RESTAURANTS SHALL REQUIRE TWO (2) PARKING SPACES PER SERVICE STATION, ONE (1) PARKING PER EVERY TWO (2) SEATS AND ONE (1) PARKING SPACE PER 250 SQUARE FEET. (§ 34-16.2 – SCHEDULE I)
 - PARKING CALCULATION:

(# SERVICE STATIONS) * (PARKING SPACE/SERVICE STATION) +	
(# SEATS) * (1) PARKING SPACE/2 SEATS + (2,173 SF) * (1) PARKING SPACE/250 SF	
TOTAL =	23 SPACES REQUIRED
TOTAL =	12 SPACES PROPOSED (M)

- LOADING REQUIREMENTS
 - EACH LOADING SPACE SHALL NOT BE LESS THAN TWELVE (12) FEET IN WIDTH AND FORTY (40) FEET IN LENGTH. (§ 32-6.3.A)(1)
 - EXCEPT FOR BUFFER ZONES, EACH LOADING SPACE WILL OCCUPY ANY REQUIRED SIDE OR REAR YARD WHEN ADJOINING A RESIDENTIAL ZONING DISTRICT OR PUBLIC OR QUASI-PUBLIC USE A FIFTEEN (15) FEET BUFFER ZONE, SUITABLY SCREENED OR LANDSCAPED SHALL BE PROVIDED.
 - OFF-STREET LOADING SPACES SHALL NOT BE LOCATED WITHIN ANY FIRE PREVENTION ZONE, WITHIN TWENTY-FIVE (25) FEET OF ANY FIRE HYDRANT OR WITHIN TEN (10) FEET OF ANY FIREWORKS, ELEVATOR OR OTHER GENERAL MEANS OF EXTINGUISHMENT ON THE SITE. LOADING SPACES SHALL NOT BLOCK OR IN ANY WAY INTERFERE WITH THE FREE FLOW OF PEDESTRIANS FROM ANY MEANS OF INGRESS OR EGRESS NOR SHALL LOADING SPACES INTERFERE WITH THE FREE FLOW OF PEDESTRIANS AND VEHICLES IN ANY PARKING AREA. ALL SUCH LOADING SPACES SHALL BE APPROPRIATELY INDICATED BY A SIGN OR OTHER VISUAL COMMUNICATION AS TO LOAD LOCATION. (§ 32-6.3.A)(4) (M)
 - NO OFF-STREET LOADING SPACES SHALL BE LOCATED IN THE FRONT YARD. (§ 34-16.3)
 - RESTAURANTS WITH A FLOOR AREA OF 2,000 SQUARE FEET OR GREATER SHALL REQUIRE ONE (1) LOADING SPACE, AN ADDITIONAL LOADING SPACE IS REQUIRED FOR A RESTAURANT WITH A FLOOR AREA OF 25,000 SQUARE FEET OR GREATER. (§ 34-16.3 – SCHEDULE I)

- DRIVEWAY REQUIREMENTS
 - DRIVE AISLES FOR NINETY (90) DEGREE PARKING SHALL BE A MINIMUM OF TWENTY-FOUR (24) FEET IN WIDTH, SIXTY (60) DEGREE SHALL BE EIGHTEEN (18) FEET, FORTY-FIVE (45) DEGREE SHALL BE THIRTEEN (13) FEET, AND THIRTY (30) DEGREE AND PARALLEL SPACES SHALL BE TWELVE (12) FEET. (§ 32-6.2.0)(1)
 - NO ENTRANCE OR EXIT DRIVEWAY SHALL BE CLOSER THAN FIFTY (50) FEET TO THE RIGHT-OF-WAY LINE OF ANY INTERSECTION STREET. (§ 32-6.2.0)(3)
 - NO PART OF ANY DRIVEWAY SHALL BE LOCATED CLOSER THAN TWENTY (20) FEET TO ANY OTHER DRIVEWAY ON AN ADJOINING PARCEL, OR SHALL MORE THAN ONE (1) DRIVEWAY BE LOCATED CLOSER THAN FIFTY (50) FEET TO ANOTHER DRIVEWAY ON THE SAME SITE. (§ 32-6.2.0)(4) (M)
 - NO ENTRANCE OR EXIT DRIVEWAY SHALL BE LOCATED ON A TRAFFIC CIRCLE OR ON A RAMP OF AN INTERCHANGE OR WITHIN TWENTY-FIVE (25) FEET TO THE BEGINNING OF ANY RAMP OR OTHER PORTION OF AN INTERCHANGE. (§ 32-6.2.0)(5)
 - DRIVEWAYS USED FOR TWO-WAY TRAFFIC OPERATION SHALL INTERSECT A PUBLIC OR PRIVATE STREET AT AN ANGLE AS NEAR TO NINETY (90) DEGREES AS SITE CONDITIONS WILL PERMIT AND IN NO CASE WILL BE LESS THAN SIXTY (60) DEGREES. (§ 32-6.2.0)(6)
 - DRIVEWAYS USED FOR VEHICLES IN ONE (1) DIRECTION OF TRAVEL (RIGHT TURN ONLY) SHALL NOT FORM AN ANGLE GREATER THAN FORTY-FIVE (45) DEGREES WITH A PUBLIC OR PRIVATE STREET. (§ 32-6.2.0)(7)
 - WHERE POSSIBLE DRIVEWAY INTERSECTION WITH ANY ROADWAY SHALL NOT HAVE A GRADE THAT EXCEEDS TWO (2%) PERCENT FROM THE ROADWAY CURBLINE FOR A MINIMUM DISTANCE OF FIFTY (50) FEET FROM THE CURBLINE AND MEASURED ALONG THE CENTER LINE OF THE DRIVEWAY. (§ 32-6.2.0)(4)

- SIDEWALK REQUIREMENTS
 - SIDEWALKS SHALL CONNECT THE MAIN ENTRANCE OF EACH BUILDING WITH THE STREET OR WITH THE INTERIOR ROAD GIVING ACCESS TO THE BUILDING. (§ 32-6.4.8)
 - PRIVATE PEDESTRIAN WALKWAYS, WITHIN THE SITE, SHALL HAVE A MINIMUM PAVED WIDTH OF FOUR (4) FEET, IF DEDICATED TO THE BOROUGH AS A PUBLIC WALKWAY, IT SHALL HAVE A MINIMUM EASEMENT WIDTH OF FIVE (5) FEET. (§ 32-6.4.8)(2)
- BUFFER REQUIREMENTS
 - ALL NONRESIDENTIAL USES WHICH ABUT A RESIDENTIAL ZONE WITH A LOT WIDTH BETWEEN 75 AND 150 FT SHALL BE REQUIRED TO INSTALL, PLANT AND MAINTAIN A BUFFER ZONE OF TEN (10) FT FOR SIDE AND REAR YARDS. (§ 34-15.1) (M)
 - BUFFER ZONES SHALL CONSIST OF A STRIP OF LAND EQUAL TO TEN (10)% PERCENT OF THE AVERAGE WIDTH AND DEPTH OF THE PROPERTY BUT NOT LESS THAN FIVE (5) FEET ALONG THE REAR AND SIDE PROPERTY LINES, AND NOT LESS THAN FIVE (5) FEET BETWEEN STRIPS AND PARKING AND LOADING AREAS. (§ 34-15.2)(A) (M)
 - THE BUFFER ZONE SHALL BE KEPT IN ITS NATURAL STATE WHERE WOODED, WHERE NATURAL VEGETATION IS SPARSE, THE BUFFER ZONE SHALL BE A CONTINUOUS SCREEN OF PLANT MATERIAL AT LEAST SIX (6) FEET IN HEIGHT AND/OR A SOLID OR TIGHTLY WOUND FENCE MAY BE REQUIRED BY THE PLANNING BOARD, SO AS TO PROVIDE A TERN-ROUND VISUAL SCREEN, SAID PLANTING MAY BE PLACED IN SUITABLE AREAS IN THE BUFFER AREA AS SHALL BE REQUIRED BY THE PLANNING BOARD. (§ 34-15.2)(B)
 - AS PROVIDED IN NOTE E BELOW NO STRUCTURE, ACTIVITY, PARKING OF VEHICLES, ACCESS DRIVEWAYS, LOADING AREAS, OUTDOOR STORAGE NOR ANY PRINCIPAL OR ACCESSORY STRUCTURES SHALL BE PERMITTED WITHIN THE BUFFER ZONE. (§ 34-15.2)(C) (M)
 - UNDERGROUND UTILITY EASEMENTS, ACCESS DRIVEWAYS FROM PUBLIC STREETS, ONE (1) UNLASHED DIRECTION SIGN PER EACH DIRECTION OF TRAFFIC PER ACCESS DRIVE AND PERMITTED SIGNS ARE PERMITTED WITHIN THE BUFFER ZONES. (§ 34-15.2)(D)
 - FOR PLANTED AREAS AND BUFFER ZONES, NOT LESS THAN FIFTEEN (15%) PERCENT OF THE TOTAL LOT AREA, WITHOUT LOT AREA REDUCTION FOR REQUIRED BUFFER ZONES AS SET FORTH HEREIN AND AS CONTAINED IN THE ZONING ORDINANCE OF THE BOROUGH OF MIDLAND PARK, SHALL BE DEVOTED TO LANDSCAPING, EFFECTIVELY DISTRIBUTED AND SUBJECT TO APPROVAL OF THE PLANNING BOARD. (§ 32-6.9.0)(1)
 - THE REQUIRED PLANTED AREAS, OTHER THAN PLANTED BUFFER ZONES, NEED NOT BE IN ONE (1) AREA OF THE SITE. (§ 32-6.9.0)(2)
 - H PLANTED AREAS THAT ARE LESS THAN FOUR (4) FEET IN WIDTH SHALL NOT BE INCLUDED IN ANY COMPUTATION OF THE REQUIRED AREA. (§ 32-6.9.0)(3)
- EXACT LOCATION OF PROPOSED BUILDING AND IMPROVEMENTS MUST BE CONFIRMED AND EVALUATED UPON COMPLETION OF A SURVEY.
- THIS PLAN IS INTENDED FOR CONCEPTUAL PURPOSES ONLY. THE EXISTING CONDITIONS SHOWN HEREON IS BASED UPON INFORMATION THAT WAS SUPPLIED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION AND MAY BE SUBJECT TO CHANGE AND MUST BE UPDATED UPON PERFORMANCE OF A SURVEY.
- A DETAILED UTILITY INVESTIGATION HAS NOT BEEN COMPLETED AT THIS TIME AND NO FIELD TESTING OF UTILITY CAPACITY OR AVAILABILITY HAS BEEN PERFORMED.

GENERAL NOTES CONT.

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HERIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT THE SUBMISSION WAIVERS.
- PRIOR TO STARTING CONSTRUCTION OR FABRICATION SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS THAT MAY BE REQUIRED FOR PERMITTING AUTHORITY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PRECAUTIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE. (COL) ALL CONTRACTORS MUST HAVE THEIR OIL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AND ADDITIONAL INSURED AND TO PROVIDE CONTINUAL FURNISH COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY PROVISIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST PURCHASE WORKERS COMPENSATION AND LIABILITY INSURANCE WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, SUEMANY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR.
- SOLID WASTE TO BE DEPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PRECAUTIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE. (COL) ALL CONTRACTORS MUST HAVE THEIR OIL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AND ADDITIONAL INSURED AND TO PROVIDE CONTINUAL FURNISH COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY PROVISIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST PURCHASE WORKERS COMPENSATION AND LIABILITY INSURANCE WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, SUEMANY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, THE OBLIGATIONS OF THE CONTRACTOR TO MAINTAIN THE NEAREST ADJACENT PROPERTY, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROBLEMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE WAIVER ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR OTHER TRADES WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF CORRELATE ITEMS HAS NOT BEEN RECEIVED.
- THESE DRAWINGS AND SPECIFICATIONS SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW, REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A PART. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMITTALS OR CORRELATE ITEMS HAS NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK UNDERMINED AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE, RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCORD FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONDITIONS TO ACHIEVE THE DESIGN PERFORMANCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER HAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN REVIEW AS A RESULT, ENTRANCES AND EXITWAYS ARE NOT FINAL AND MUST BE COORDINATED WITH THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCTION, THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH IAC 523-7.7 AND THE HANDICAP ACCESSIBLE PARKING SPACES MUST BE ASSOCIATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

DEMOLITION NOTES

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
- DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
- REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
- BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
- LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
- DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BARRIERS, SHALL BE REMOVED AND REPAIRED TO ORIGINAL CONDITION. ALL FOUNDATION WALLS SHALL BE REPAIRED TO ORIGINAL CONDITION. ALL FOUNDATION WALLS SHALL BE REPAIRED TO ORIGINAL CONDITION. ALL FOUNDATION WALLS SHALL BE REPAIRED TO ORIGINAL CONDITION.
- EJECT AND MAINTAIN COVERED PASSENGERS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER ADJACENT FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, BRUSH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC WASTE. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS, PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
- FORMER FRIENDLY'S STRUCTURE IS TO BE DEMOLISHED IN TOTAL. PRE-DEMOLITION ABATEMENT OF HAZARDOUS MATERIALS SHOULD BE PERFORMED TO THE SATISFACTION OF THE BUILDING DEPARTMENT.

NOTES

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
- ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, WHERE CONFLICTS WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO REMOVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APURTMENTS REQUIRED BY THE UTILITIES TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN STRUCTURES AND APPURTENANCES DURING CONNECTION.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELEVATED STORM PIPE TO CONFORM TO ASTM C-507, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT, WHERE SPECIFICALLY INDICATED. REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER TIGHT AND CONFORM TO ASTM C-444.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2066. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED BUTT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HD DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F4847. HD PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HD STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.
- LOCATION OF KNOX BOX AND STORZ CONNECTION ARE TO BE COORDINATED WITH THE FIRE DEPARTMENT, UPON APPROVAL.
- THE PROPOSED SANITARY SEWER LATERAL SHALL MEET THE REQUIREMENTS OF THE NATIONAL STANDARD PLUMBING CODE 2018.
- THE PROPOSED WATER SERVICE LATERAL SHALL MEET THE REQUIREMENTS OF THE NATIONAL STANDARD PLUMBING CODE 2018.

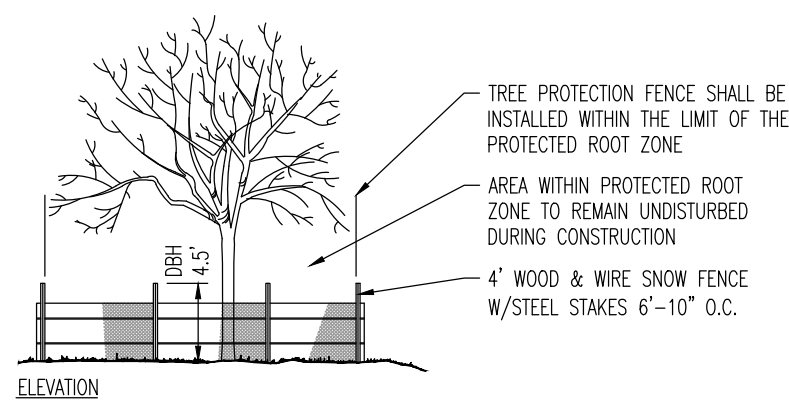
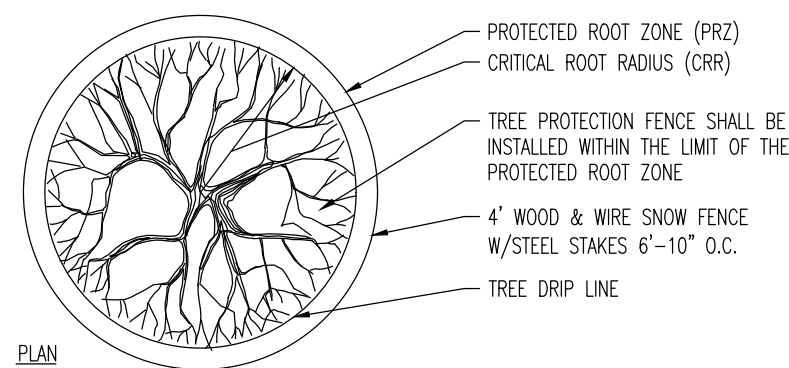
EXISTING UTILITY NOTES

- EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

GRADING NOTES

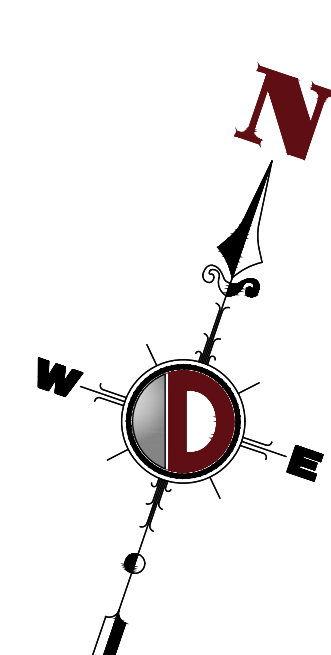
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOIL YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL DEDICATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A-SHORE TEST (95% MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE HIR 3" BELOW OPTIMUM COMPACTOR). CONTRACTOR SHALL SUBMIT A COMPACTOR REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, THAT SHOWS THE LOCATION AND VERTICAL ELEVATION OF ALL FILLED AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST 18" SAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COSTS MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO CONSTRUCTION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SUBBASE SHALL BE DEMONSTRATED, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA ACCESSIBLE ROUTES AND ADA ACCESSIBLE ROUTE WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY OF ALL PROPOSED AREAS TO BE IN ACCORDANCE WITH THE DESIGN. SOIL AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
- CONTRACTOR IS TO REMOVE EXISTING UNDESIRABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY. AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN 0.1 TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO INSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

ADA NOTES



ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR)
1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET
DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

TREE PROTECTION DURING SITE CONSTRUCTION DETAIL
NOT TO SCALE



TAX LOT 9.01
N/F PATRICIA A DAVIS
DB. 3224, PG. 399

LIMIT OF DISTURBANCE

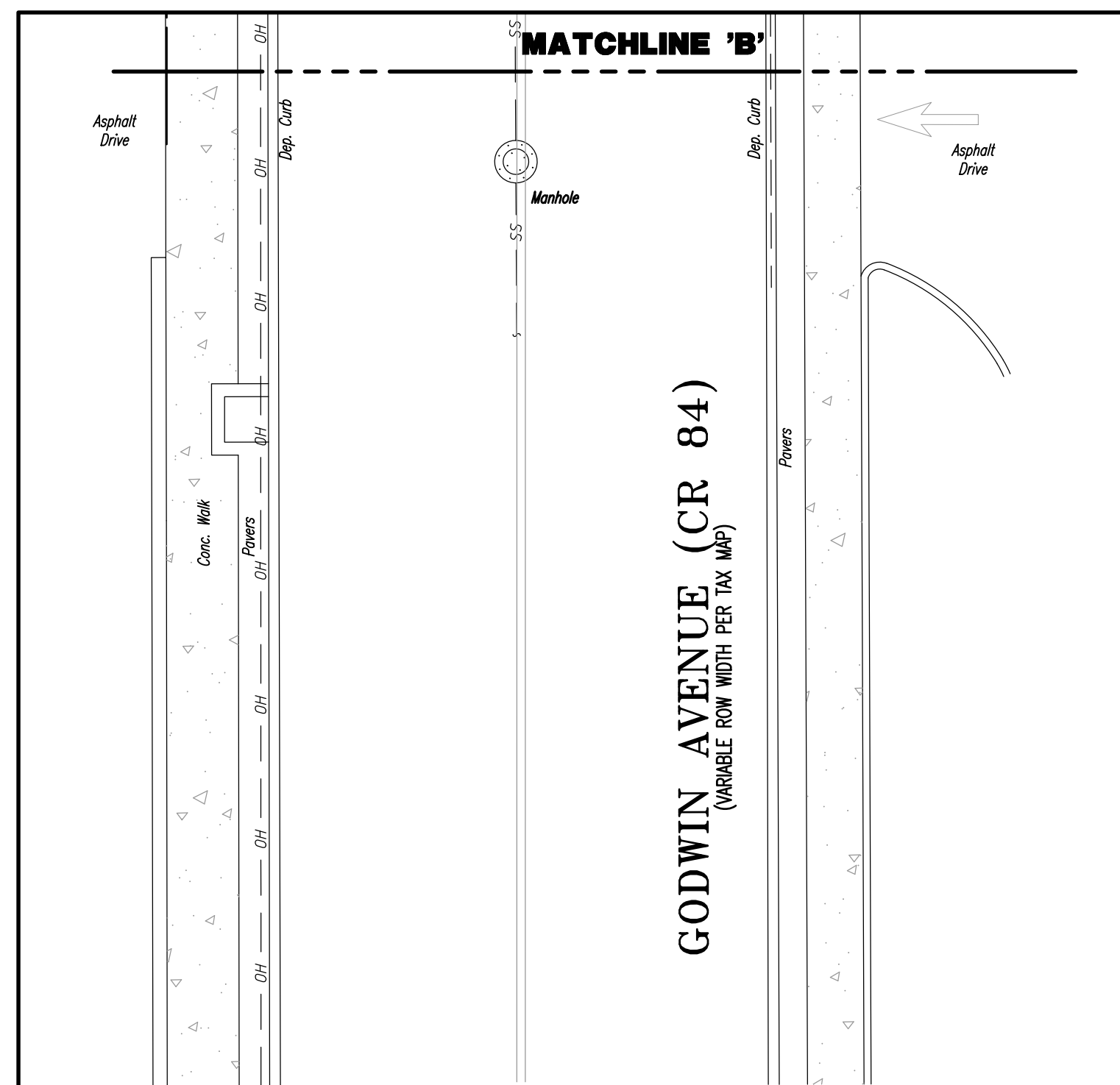
VAN BLARCOM AVENUE
(50' ROW WIDTH PER TAX MAP)

R-1 ZONE

B-1 ZONE

PROP. TREE PROTECTION FENCE

TAX LOT 6
N/F CHRISTIAN REFORMED CHURCH
DB. N/A, PG. N/A



DEMOLITION PLAN LEGEND

- PROPOSED LIMIT OF DISTURBANCE LINE
- - - - PROPOSED TREE PROTECTION FENCE LINE
- EXISTING IMPROVEMENTS TO BE REMOVED UNLESS OTHERWISE NOTED
- ☺ TREES TO REMAIN
- ☒ TREES TO BE REMOVED
- ☑ TREES TO BE TRANSPLANTED/RELOCATED

SEE SHEET 03 OF 17 FOR DEMOLITION NOTES

Rev.	Date	Comments	By
4	05/24/21	REV. PER TWP COMMENTS	K.A.H.
3	05/02/21	REV. PER COUNTY COMMENTS	K.A.H.
2	03/12/21	REV. PER TOWNSHIP COMMENTS	K.A.H.
1	12/01/20	REV. PER CLIENT & SCD COMMENTS	K.A.H.

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TITLE: **DEMOLITION PLAN**

PROJECT: **ABDD V. LLC PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**
DUNKIN' BLOCK 20.10, LOT 5.01
195 GODWIN AVENUE (CR 84)
BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

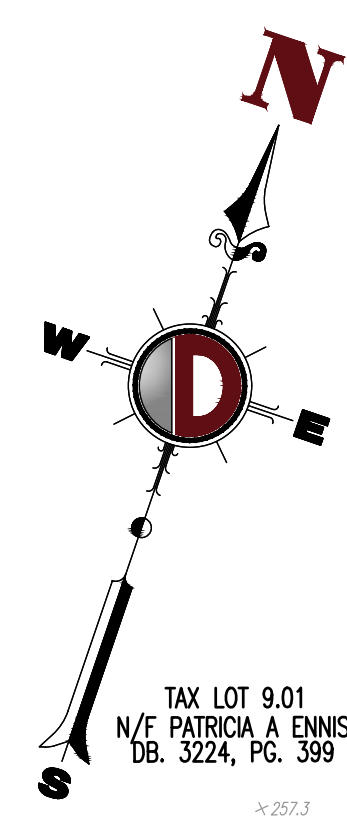
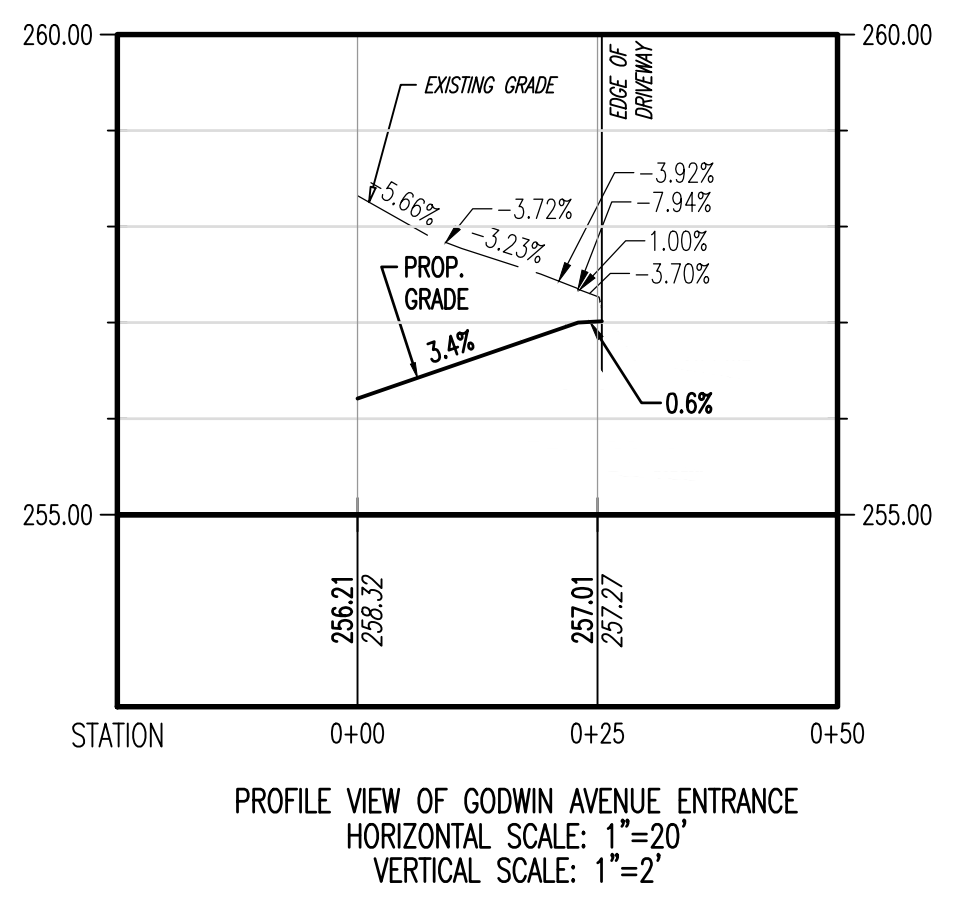
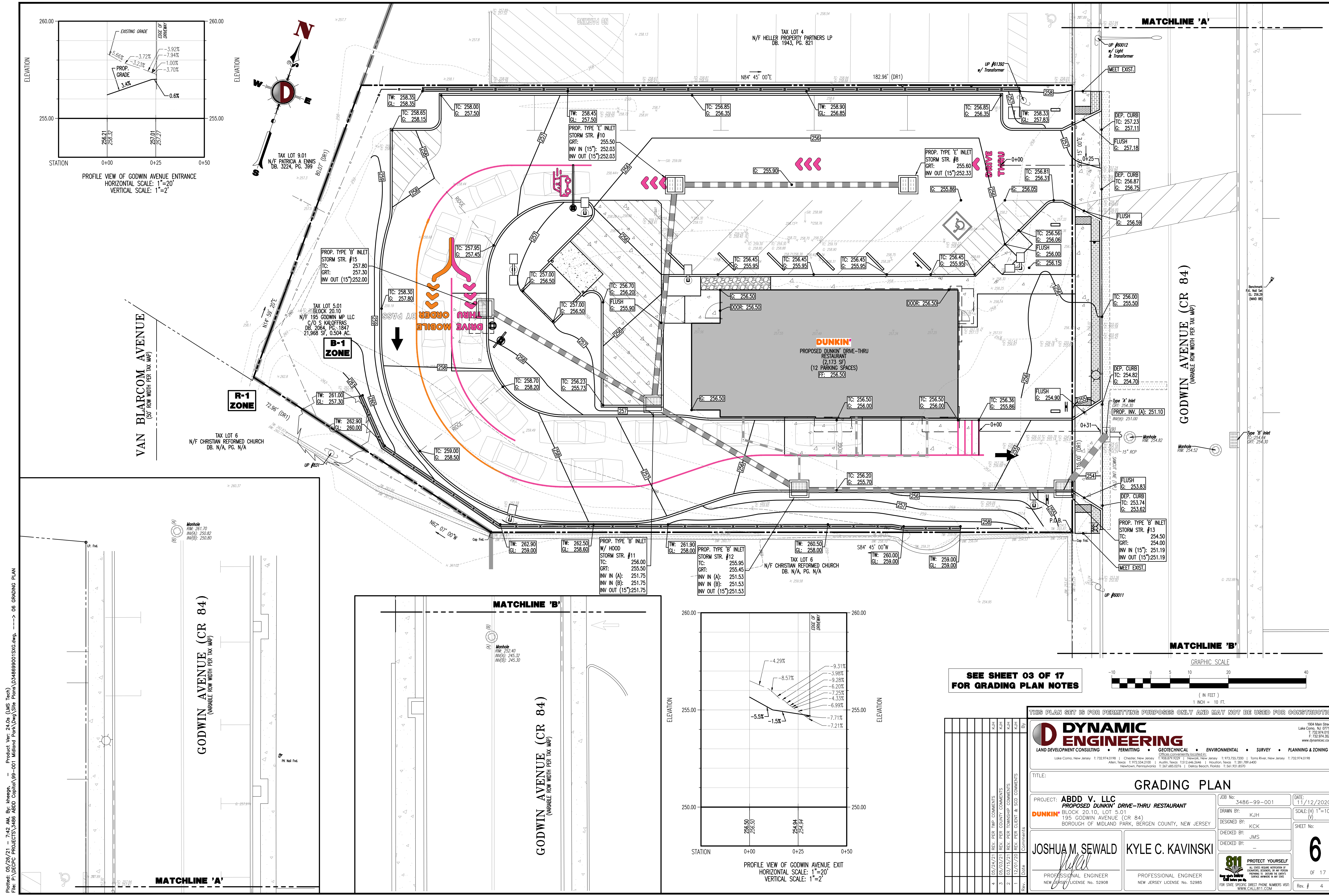
JOB No: 3486-99-001
DATE: 11/12/2020
DRAWN BY: RAU
DESIGNED BY: KCK
CHECKED BY: JMS
SCALE: (H) 1"=10' (V)
SHEET No: 4 OF 17

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

KYLE C. KAVINSKI
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52985

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Plotted: 05/28/21 - 7:41 AM, By: ksheeje, Product Ver: 24.0a (LMS Tech)
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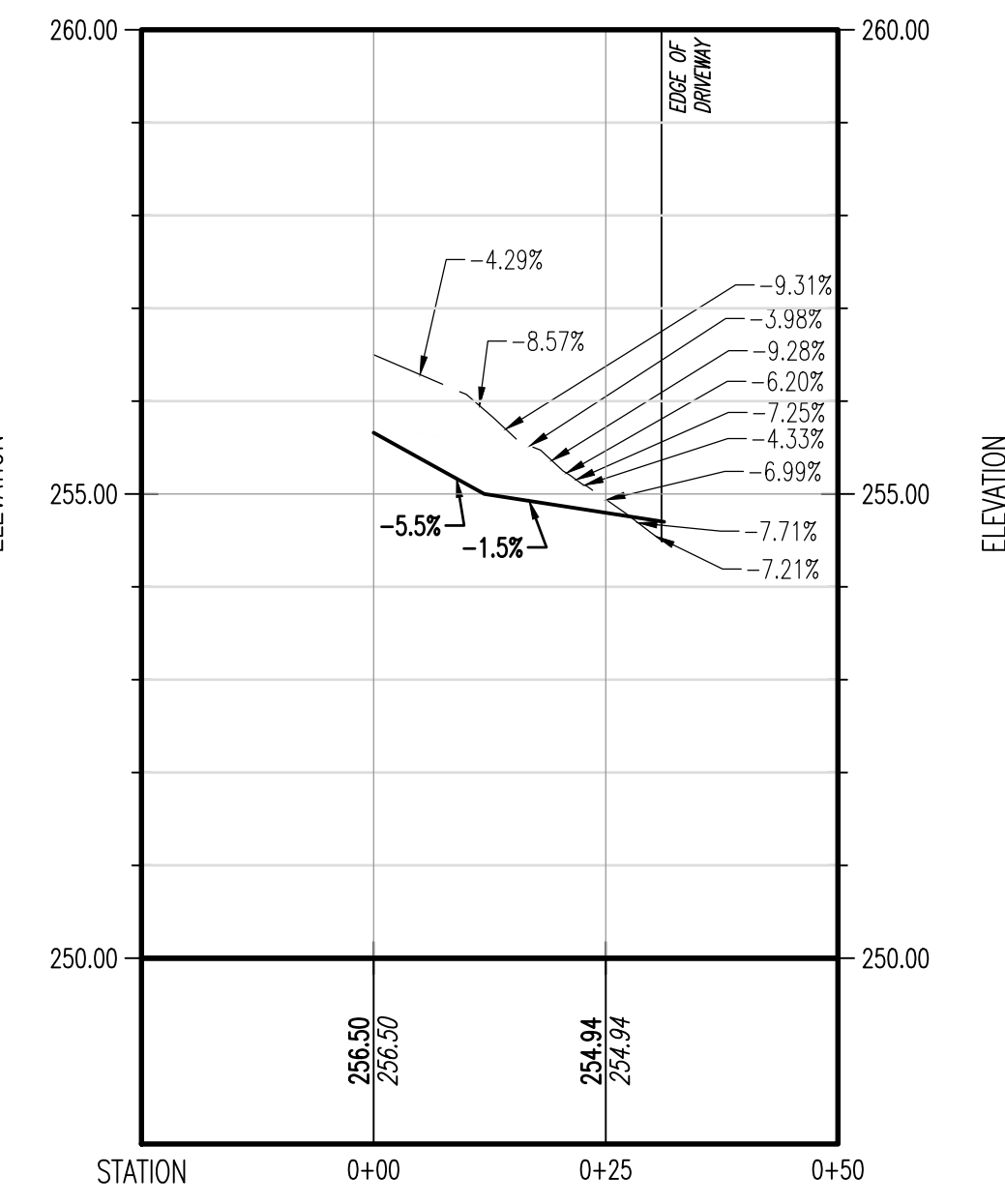


VAN BLARCOM AVENUE
(50' ROW WIDTH PER TAX MAP)

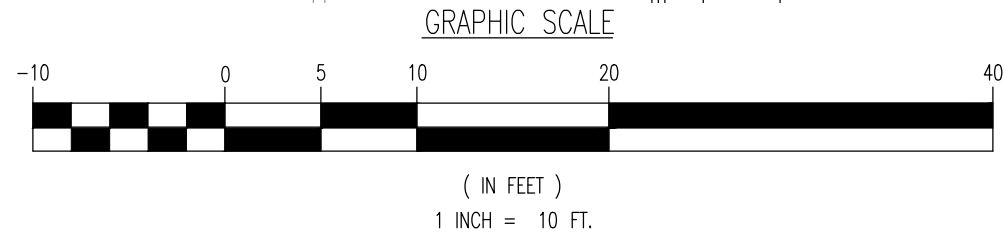
GODWIN AVENUE (CR 84)
(VARIABLE ROW WIDTH PER TAX MAP)

GODWIN AVENUE (CR 84)
(VARIABLE ROW WIDTH PER TAX MAP)

GODWIN AVENUE (CR 84)
(VARIABLE ROW WIDTH PER TAX MAP)



SEE SHEET 03 OF 17
FOR GRADING PLAN NOTES



Rev.	Date	Comments	By
1	05/24/21	REV. PER TWP COMMENTS	K/JH
2	05/03/21	REV. PER COUNTY COMMENTS	K/JH
3	03/19/21	REV. PER TOWNSHIP COMMENTS	K/JH
4	11/01/20	REV. PER CLIENT & SCD COMMENTS	K/JH

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195 GODWIN AVENUE (CR 84)
BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

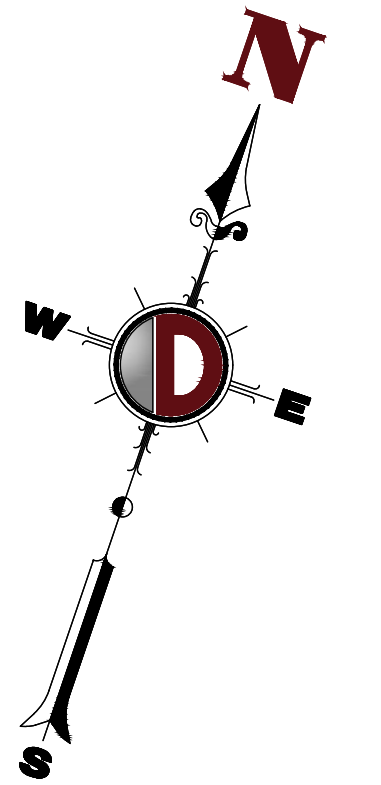
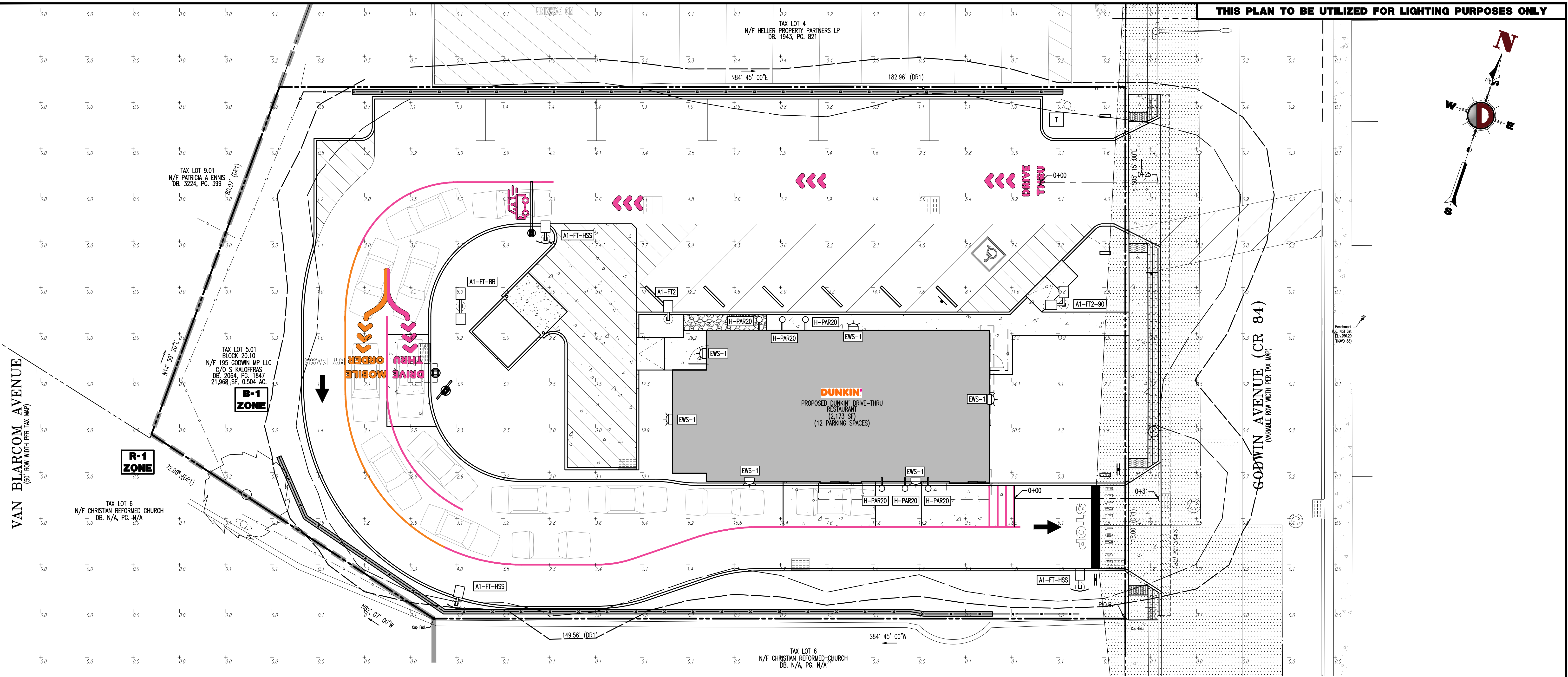
JOB No: 3486-99-001
DATE: 11/12/2020
DRAWN BY: K/JH
SCALE: (H) 1"=10'
(V)
DESIGNED BY: K/CK
SHEET No:
CHECKED BY: JMS
CHECKED BY: -

JOSHUA M. SEWALD PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

KYLE C. KAVINSKI PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52985

6
OF 17
Rev. # 4

Printed: 05/28/21 - 7:42 AM, By: ksheezy, Product Ver: 24.0a (LMS Tech)
File: P:\VEPC PROJECTS\3486 ABDD Coplan\DWG Site Plans\0348699001SG.dwg, ---> 06 GRADING PLAN



STATISTICAL AREA SUMMARY					
AREA	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
PIQ	1.46	25.2	0.0	N/A	N/A
PAVEMENT	3.95	16.2	0.8	4.94	20.25

LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	3	A1-FT-HSS	70 W	14 FT	SINGLE	1.0	LSI INDUSTRIES	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - FORWARD THROW W/ HOUSE SIDE SHIELD	MWM-LED-07L-SIL-FT-30-70CR-L.ies
	1	A-FT-BB	70 W	14 FT	BACK TO BACK	1.0	LSI INDUSTRIES	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - FORWARD THROW	MWM-LED-07L-SIL-FT-30-70CR-.ies
	1	A-FT-2	70 W	14 FT	SINGLE	1.0	LSI INDUSTRIES	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - FORWARD THROW	MWM-LED-07L-SIL-FT-30-70CR-.ies
	1	A-FT2-90	70 W	14 FT	2 @ 90 DEGREE	1.0	LSI INDUSTRIES	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - FORWARD THROW	MWM-LED-07L-SIL-FT-30-70CR-.ies
	6	EWS-1	20 W	9 FT	SINGLE	1.0	DECO LIGHTING	D809-LED WALL MOUNTED LIGHT - 20 WATT 3000K TYPE 3 DISTRIBUTION	D809-LED-20-30-UNV-T3.ies
	6	H-PAR20	50 W	10 FT	SINGLE	1.0	H-LITE MFG. CO., INC	H-MR16-91/18-1-91/50W/LV (NOT MODIFIED)	

NOTE: ALL FIXTURES TO BE 3000K COLOR TEMP

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 1.0 FC.

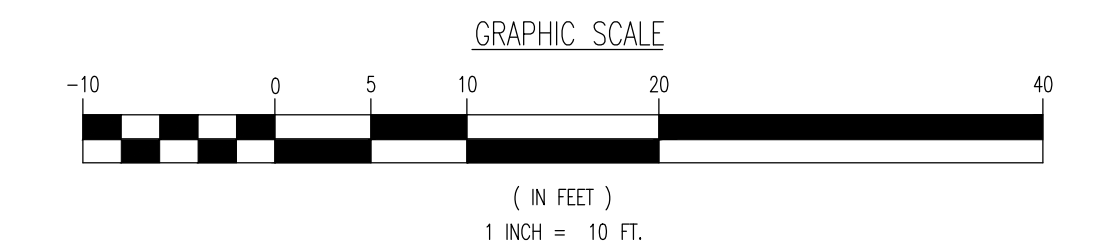
(FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYARD POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR LIGHTING DIAGRAM.
- LIGHTING REQUIREMENTS
 - LIGHTING OF PARKING AREAS OR OTHER AREAS SERVING MULTIFAMILY OR NONRESIDENTIAL USES SHALL BE SCREENED FROM ADJOINING RESIDENTIAL PROPERTIES. THERE SHALL BE NO GLARE OR SPILLAGE OF LIGHTING IN EXCESS OF FIVE-TENTHS (0.5) FOOTCANDLE ONTO ADJOINING RESIDENTIAL PROPERTY. (§ 34-15.5)
 - THE MAXIMUM HEIGHT OF FREESTANDING LIGHTS SHALL NOT EXCEED TWENTY (20) FEET MOUNTING HEIGHT. (§ 32-6.5.1)
 - PARKING AREAS FOR COMMERCIAL USES SHALL HAVE MINIMUM OF 1.5 FOOTCANDLES THROUGHOUT. A MAXIMUM OF 1 FOOTCANDLES IS REQUIRED AT PROPERTY LINES. (§ 32-6.5.7)

SEE SHEET 14 OF 17 FOR LIGHTING DETAILS



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PROJECT: **ABDD V. LLC**
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 DUNKIN' BLOCK 20.10, LOT 5.01
 195 GODWIN AVENUE (CR 84)
 BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001 DATE: 11/12/2020
 DRAWN BY: RAU SCALE: (H) 1"=10'
 DESIGNED BY: KCK (V)
 CHECKED BY: JMS SHEET No:
 CHECKED BY: -

JOSHUA M. SEWALD **KYLE C. KAVINSKI**
 PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908 PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52985

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Rev. # 4

**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION & SEDIMENT CONTROL NOTES:**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTATED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDERS).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:
 - TEMPORARY SEEDING AND MULCHING:
 - GROUND LIMESTONE – APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER – APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED – PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH – UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING:
 - TOPSOIL – A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
 - GROUND LIMESTONE – APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER – APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED – TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION)
 - MULCH – UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIRECTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" – 2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1" – 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1 OF THE NJ STANDARDS.
- STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERKAMAK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: 201-261-4407; FAX 201-261-7523.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

REVISED 12/7/17

STANDARD FOR STABILIZATION WITH MULCH ONLY

- SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO HANDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - TOPSOIL SHOULD BE SEEDING ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- PROTECTIVE MATERIALS
 - UNROTATED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TO HOLD THEM DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- MULCH ANCHORING – SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.
 - PEG AND TWINE
 - MULCH NETTINGS
 - CRAMPER MULCH ANCHORING COULTER TOOL
 - LIQUID MULCH-BINDERS

SEQUENCE OF CONSTRUCTION:

- INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAYBALES, SILT FENCING AND TREE PROTECTION FENCING.
- CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
- EXCAVATION, CONSTRUCTION, AND STABILIZATION OF DETENTION BASINS, EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
- EXCAVATE FOR BUILDING FOUNDATION.
- COMPLETE BUILDING CONSTRUCTION.
- EXCAVATE AND INSTALL ON-SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND PIPING, AND DRAINAGE STRUCTURES.
- FINAL GRADING ON SITE.
- INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.
- REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAYBALES, SILT FENCING AND TREE PROTECTION FENCING.

**STANDARD FOR PERMANENT VEGETATIVE
COVER FOR SOIL STABILIZATION**

- SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO HANDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - TOPSOIL SHOULD BE SEEDING ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- SEEDING
 - PERMANENT VEGETATIVE MIXTURES & PLANTING RATES

(1) HARD FESCUE –	175 LBS./ACRE	4 LBS./1000 SQ.FT.
(2) CHEWING FESCUE –	175 LBS./ACRE	4 LBS./1000 SQ.FT.
(3) STRONG CREeping REED FESCUE –	175 LBS./ACRE	4 LBS./1000 SQ.FT.
(4) PERENNIAL RYEGRASS –	45 LBS./ACRE	1 LBS./1000 SQ.FT.
(5) KY. BLUEGRASS –	45 LBS./ACRE	1 LBS./1000 SQ.FT.
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
- MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

 - STRAW OR HAY, UNROTATED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET). EXCEPT THAT WHERE A CRAMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

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ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST.

 - PEG AND TWINE
 - MULCH NETTINGS
 - CRAMPER MULCH ANCHORING COULTER TOOL
 - LIQUID MULCH-BINDERS
- WOOD-FIBER OR PAPER-FIBER MULCH – SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- PELLETED MULCH – COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDER AREAS WHERE WEED-FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFYING AGENT ARE NOT PRACTICAL OR DESIRABLE, APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

**STANDARD FOR TEMPORARY VEGETATIVE
COVER FOR SOIL STABILIZATION**

- SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- SEEDING
 - TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTHS
 - COOL SEASON GRASSES:
 - PERENNIAL RYEGRASS – 100 LBS / ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 0.5 INCHES.
 - SPRING OATS – 86 LBS / ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - WINTER BARLEY – 96 LBS / ACRE; PLANT BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - ANNUAL RYEGRASS – 100 LBS / ACRE; PLANT BETWEEN MARCH 1 AND JUNE 15 BETWEEN AUGUST 1 AND SEPTEMBER 15; AT A DEPTH OF 0.5 INCHES.
 - WINTER CERIAL RYE – 112 LBS / ACRE; PLANT BETWEEN AUGUST 1 AND NOVEMBER 15; AT A DEPTH OF 1.0 INCHES.
 - WARM SEASON GRASSES:
 - PEARL MILLET – 20 LBS / ACRE; PLANT BETWEEN MAY 15 AND AUGUST 15, AT A DEPTH OF 1.0 INCHES.
 - MILLET (GERMAN OR HUNGARIAN) – 30 LBS / ACRE; PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
 - CONVENTIONAL SEEDING, APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
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 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
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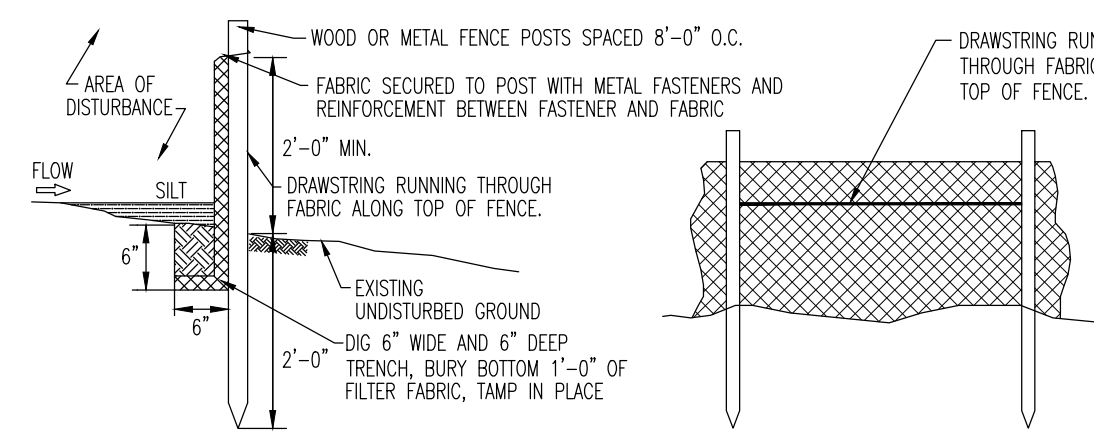
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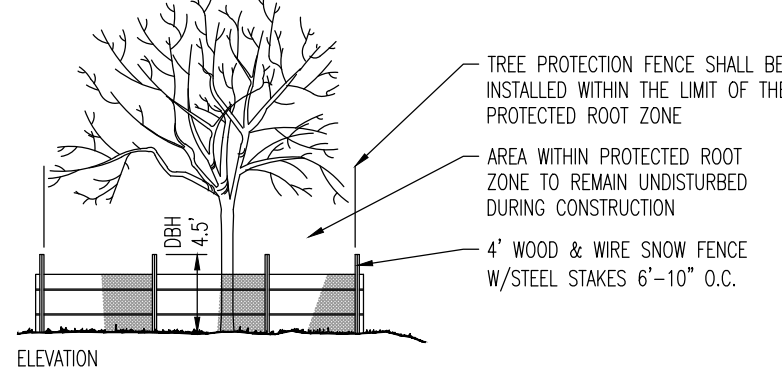
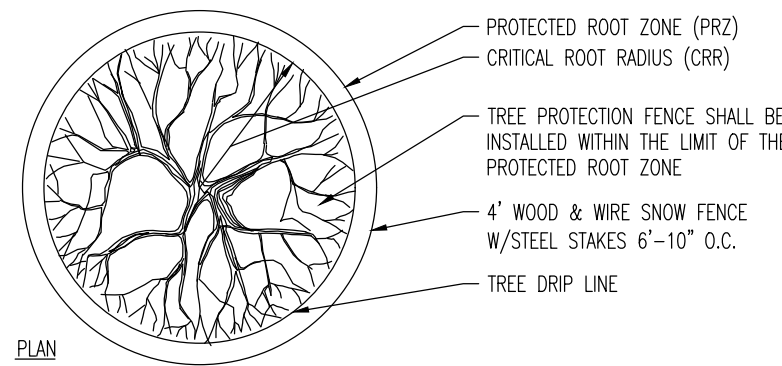
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- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SLOPE OF THE LAND FOR AT LEAST 2 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE RESTRICTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
- THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED BY HAMMING A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEEDING LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BARRED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (WIRE MESHING, CHAINWEEB, WIRELESS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL REST TIGHTLY AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FABRIC FOR EASIER STRENGTH.

SILT FENCE DETAIL

NOT TO SCALE

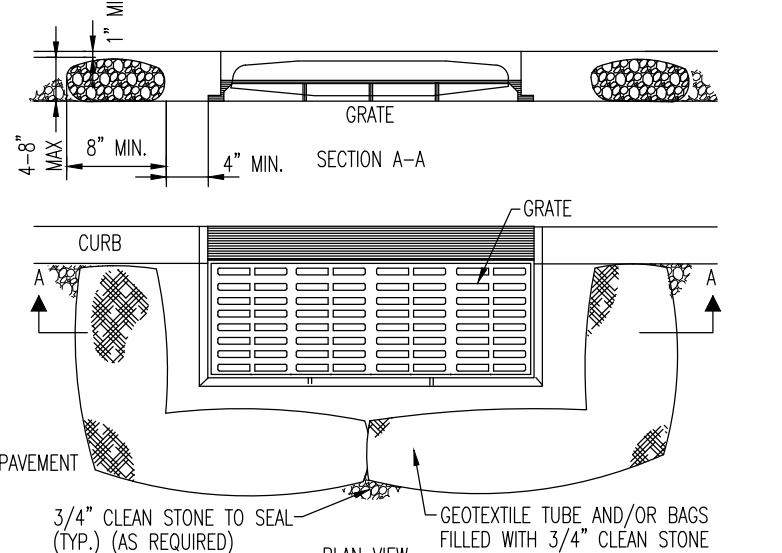


ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR)

- MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
- MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.
- DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
- DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY, OR TOLERANT SPECIES.

**TREE PROTECTION DURING
SITE CONSTRUCTION DETAIL**

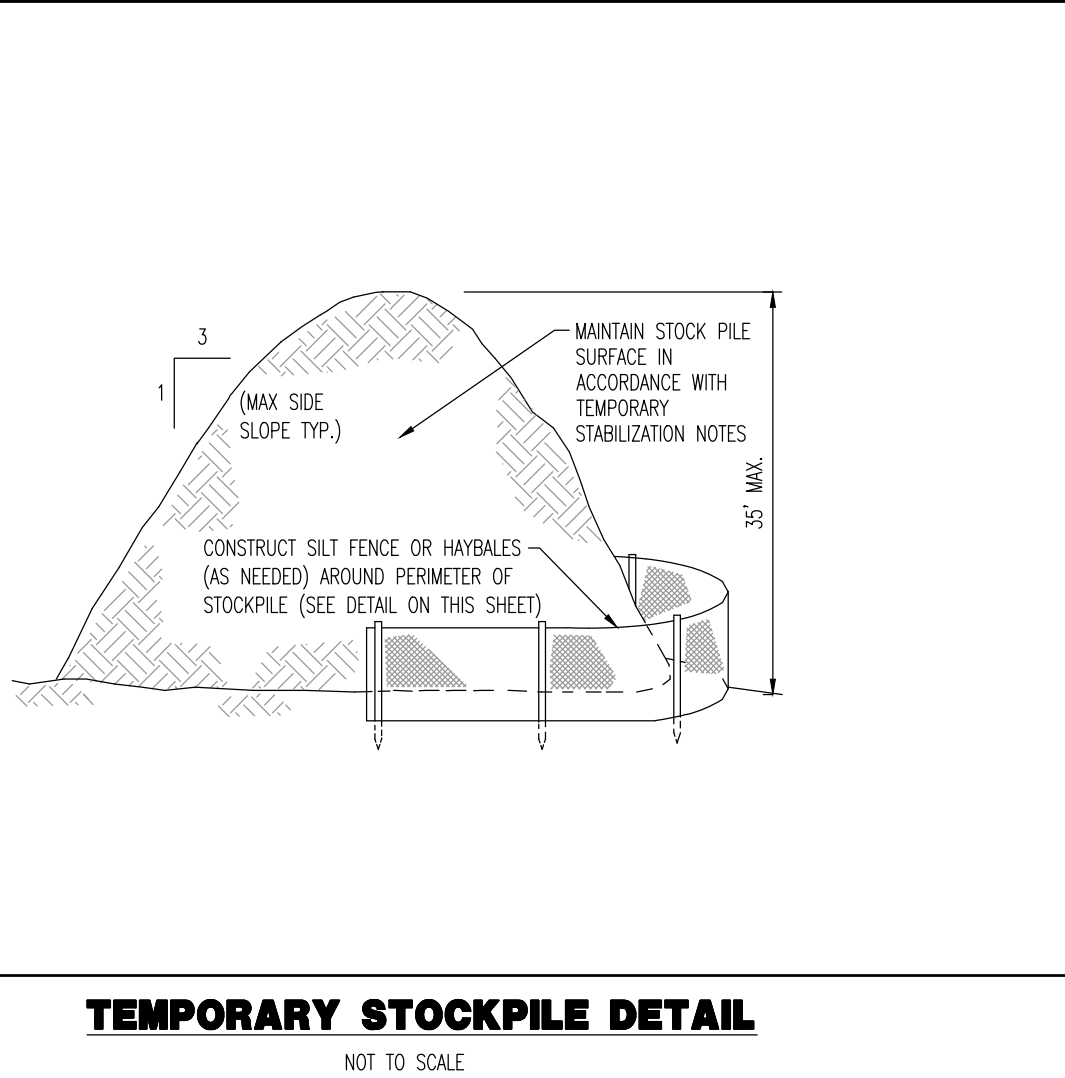
NOT TO SCALE



- NOTES:
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 1177, BY SYNTHETIC INDUSTRIES INC., OR TERRATEX SC, BY WETEC INC. OR APPROVED EQUIV.
 - 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEAMS SHALL BE SEWN OR CLOTTED BY STAPLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
 - WHERE NO CURB IS PRESENT, BARRIERS SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
 - INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SILENTLY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
 - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

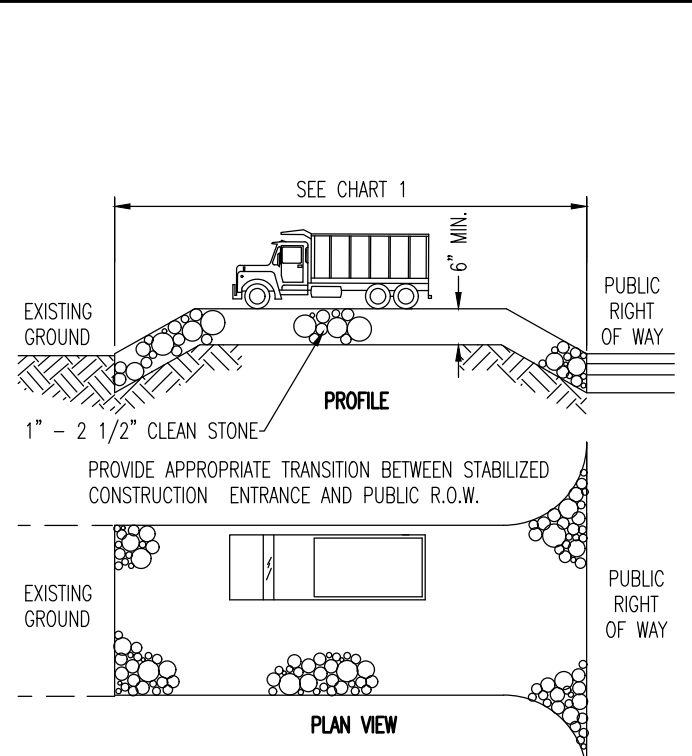
INLET FILTER DETAIL

NOT TO SCALE



TEMPORARY STOCKPILE DETAIL

NOT TO SCALE



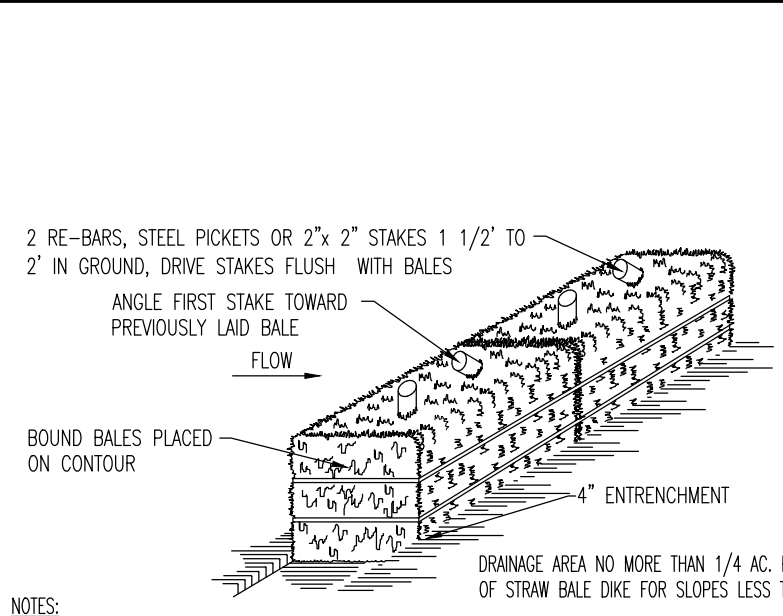
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

CHART 1

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	COARSE GRAINED SOILS 50 FT. FINE GRAINED SOILS 100 FT.
2% TO 5%	100 FT. 200 FT.
>5%	ENTIRE ENTRANCE STABILIZED WITH FABR BASK COURSE (1)

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.



- NOTES:
- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE PLACED SO THE ENDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY PLACED BALE AND THE SECOND STAKE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.

HAYBALE SEDIMENT BARRIER DETAIL

NOT TO SCALE

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

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Newtown, Pennsylvania 1: 287.685.0274 | Dancy Beach, Florida 1: 361.921.8570

TITLE: **SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS**

PROJECT: **ABDD V. LLC PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**

DUNKIN' 85-CURVE, 2.0, 1.0, LOT 5.01
195 GODWIN AVENUE (CR 84)
BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001 | DATE: 11/12/2020

DRAWN BY: RAU | SCALE: (H) NOT TO (V) SCALE

DESIGNED BY: KCC | SHEET No:

CHECKED BY: JMS

CHECKED BY: -

JOSHUA M. SEWALD

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

KYLE C. KAVINSKI

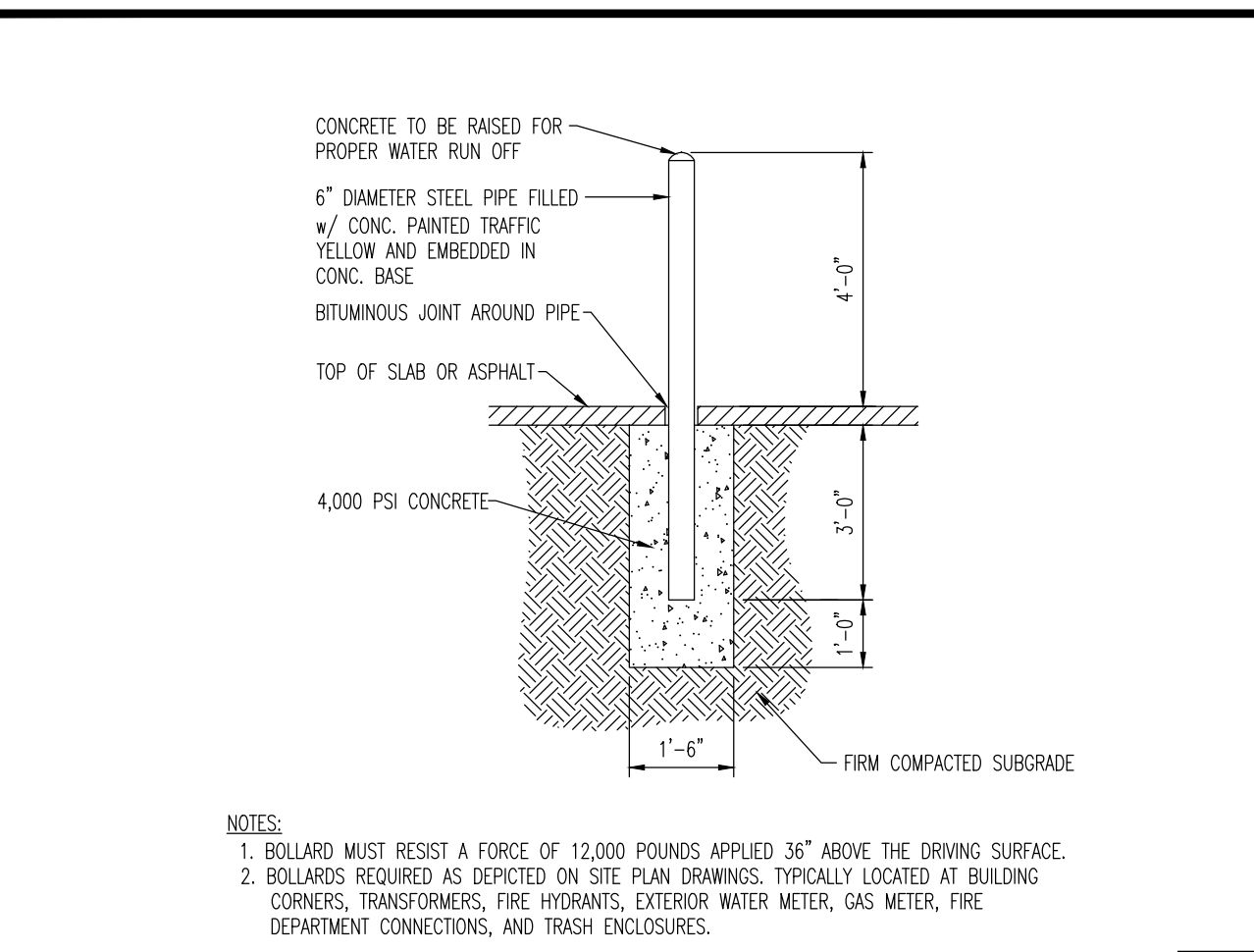
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52985

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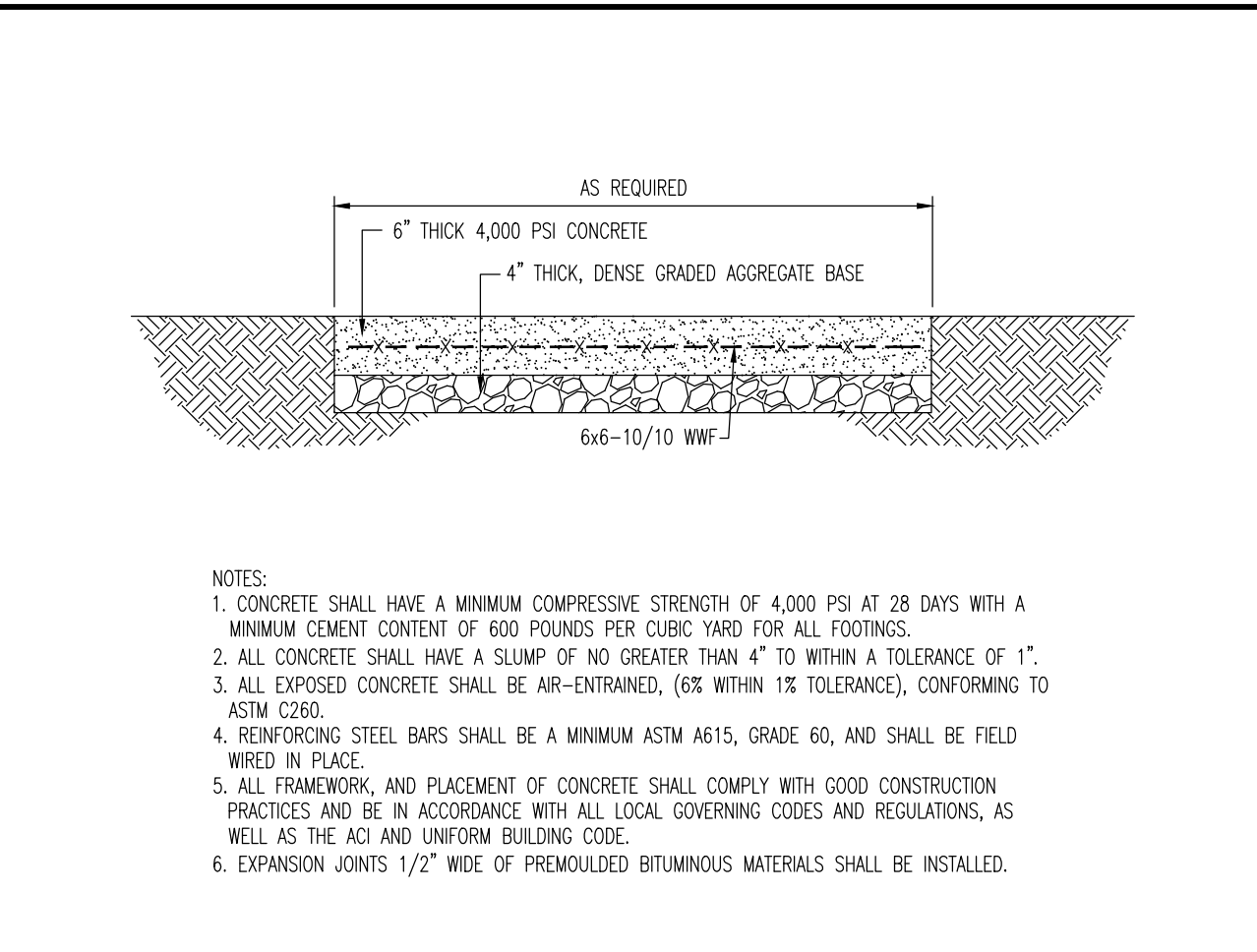
OF 17

Rev. # 4

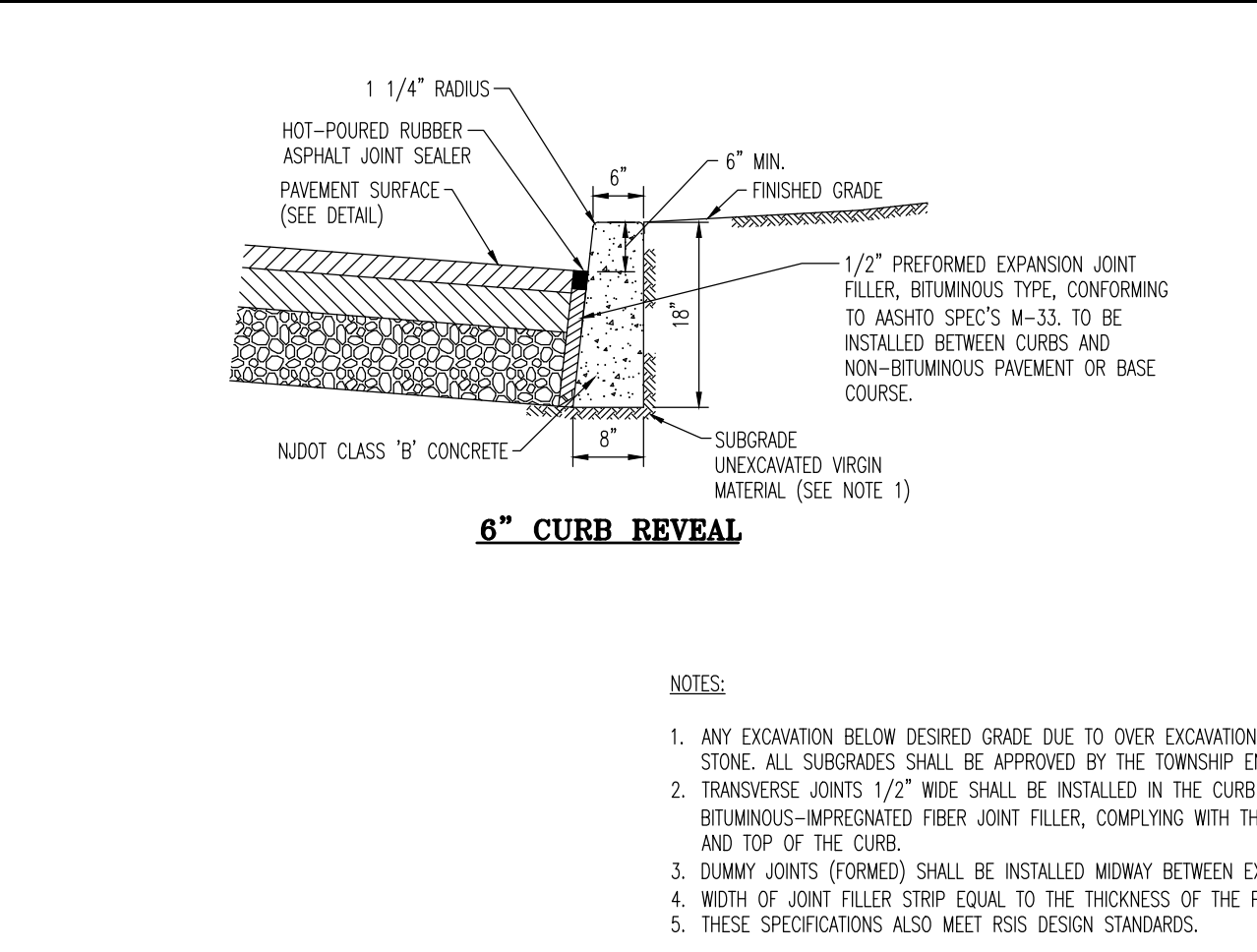
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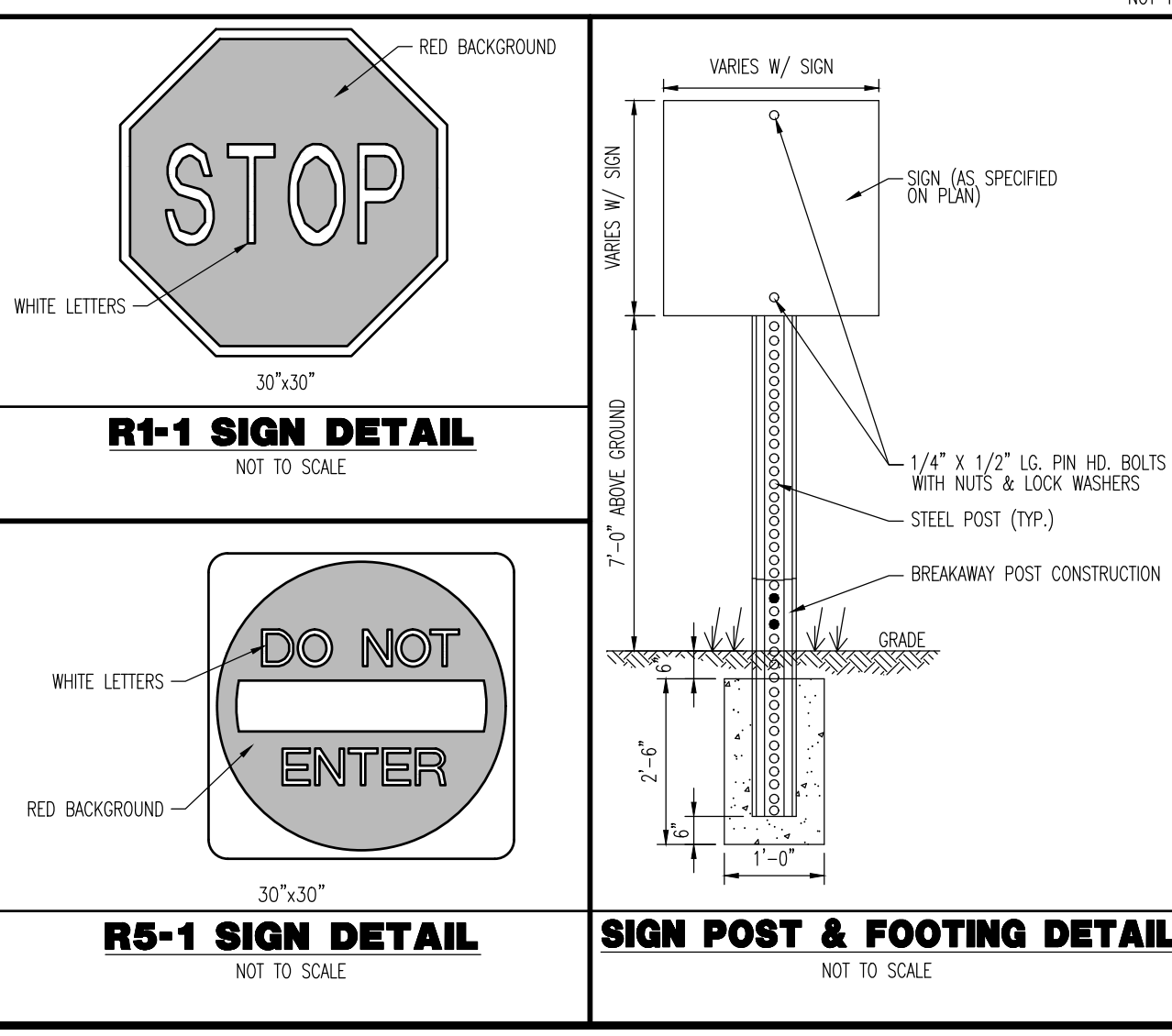
6" BOLLARD DETAIL
NOT TO SCALE



CONCRETE PAD DETAIL
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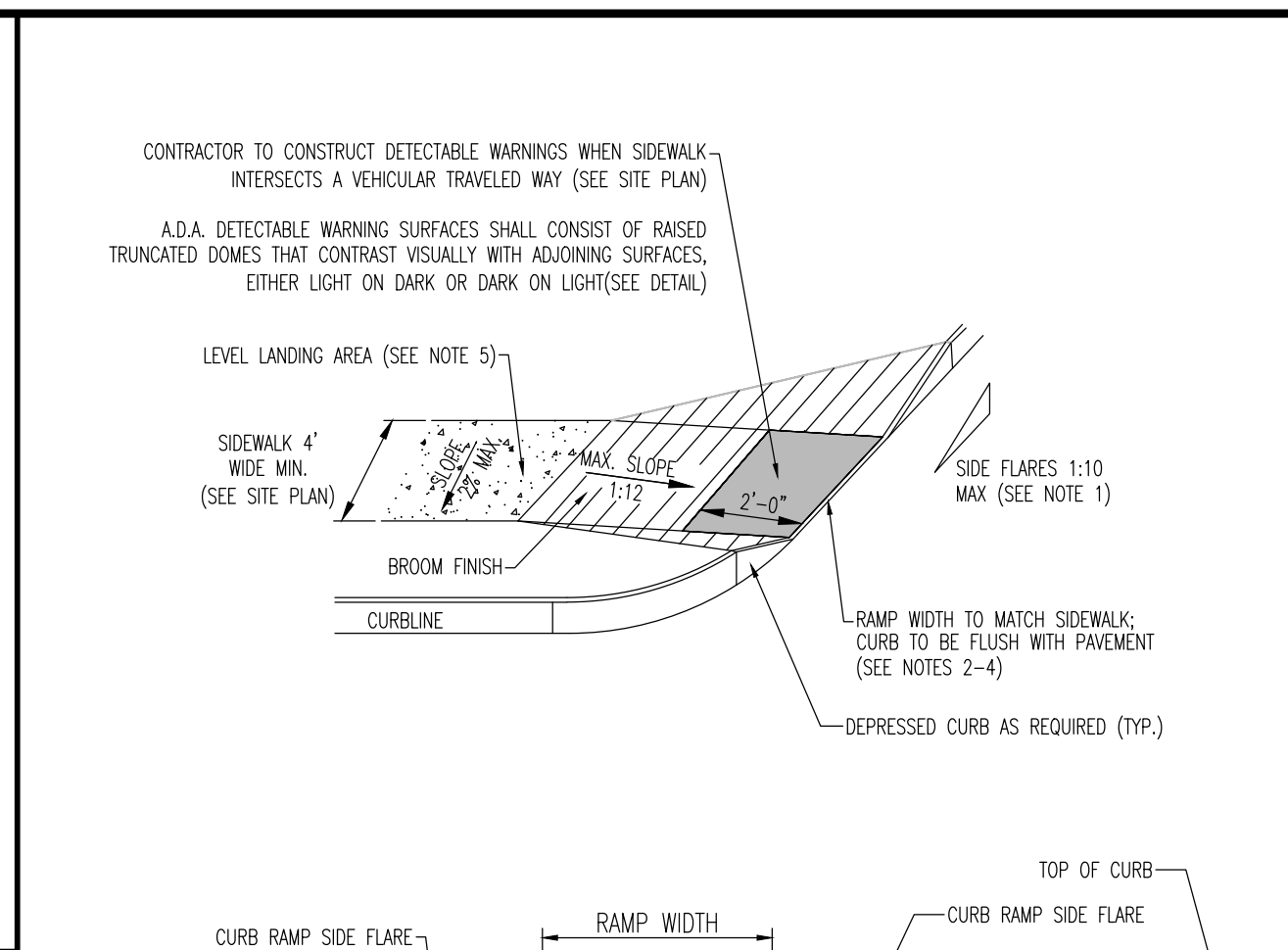
6" CURB REVEAL
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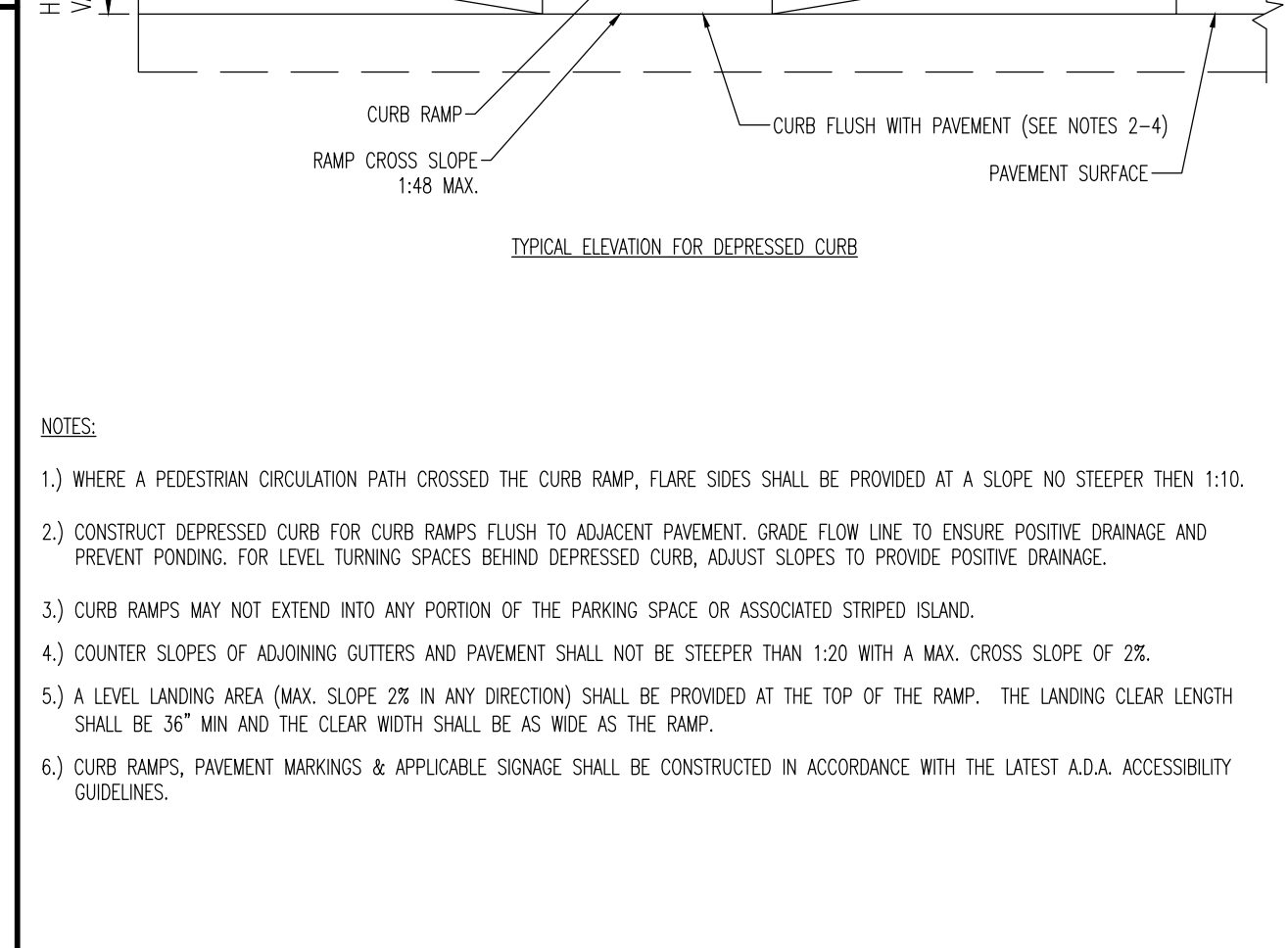
R1-1 SIGN DETAIL
NOT TO SCALE

R5-1 SIGN DETAIL
NOT TO SCALE

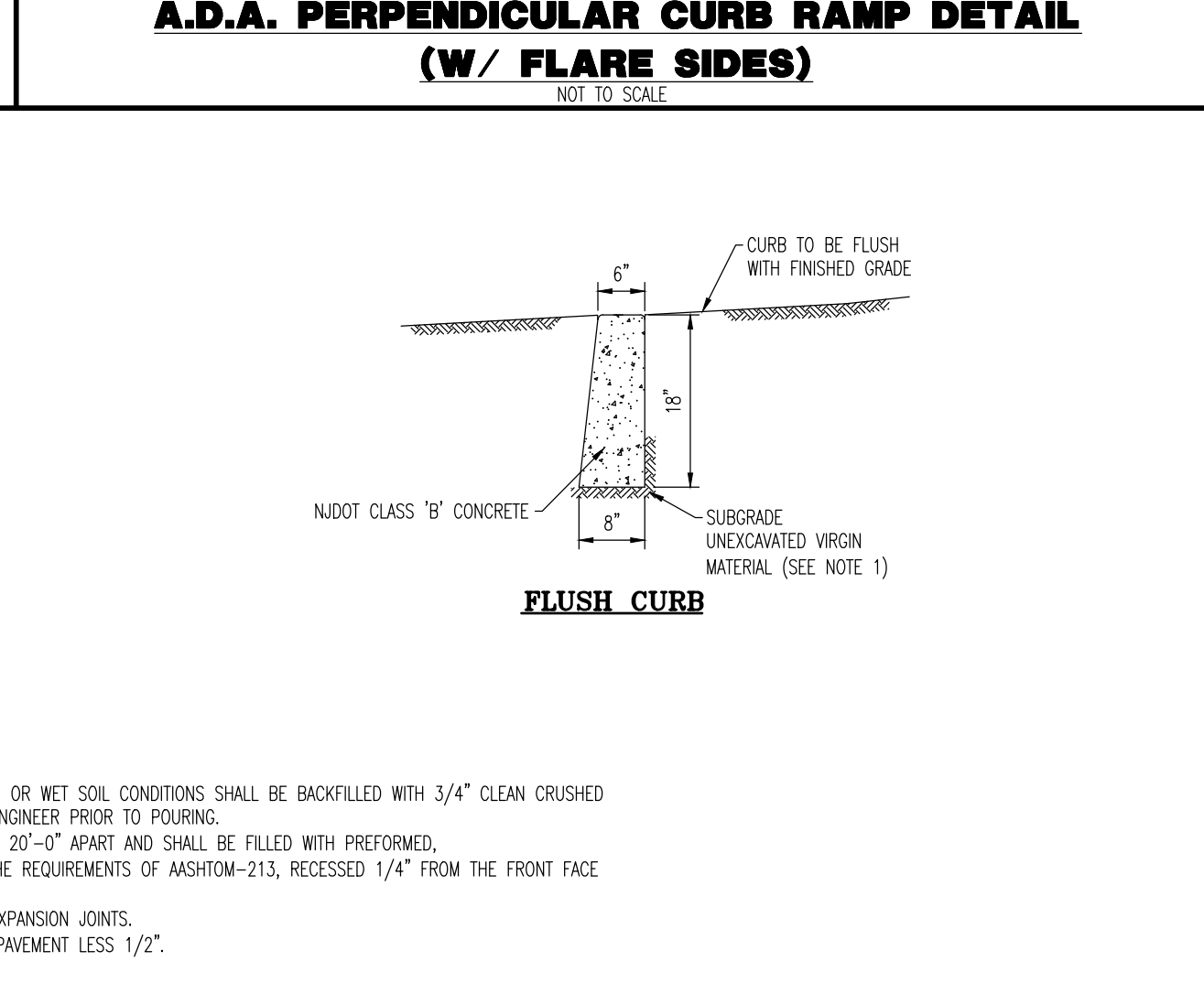
SIGN POST & FOOTING DETAIL
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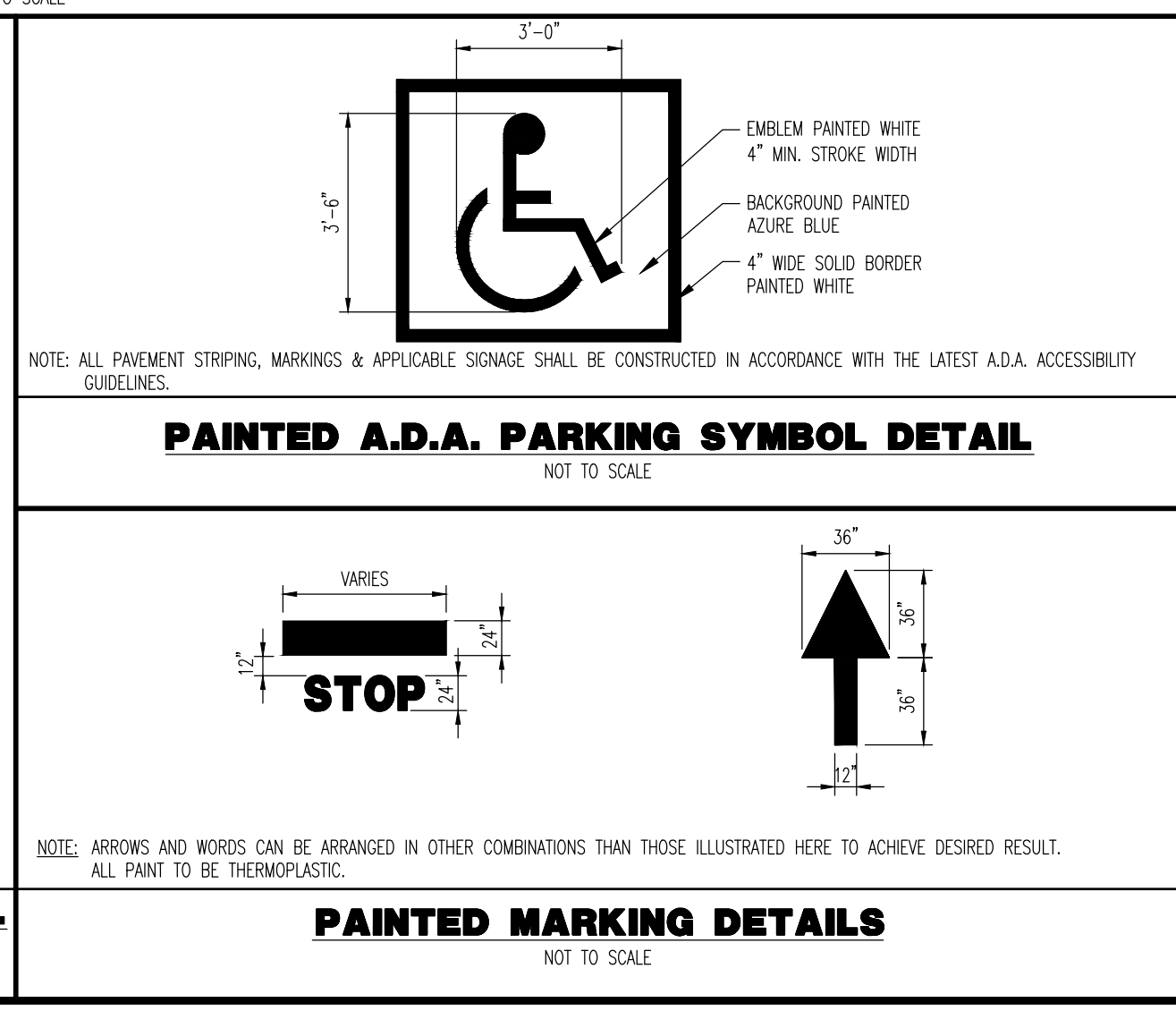
A.D.A. PERPENDICULAR CURB RAMP DETAIL (W/ FLARE SIDES)
NOT TO SCALE



A.D.A. PARALLEL CURB RAMP DETAIL
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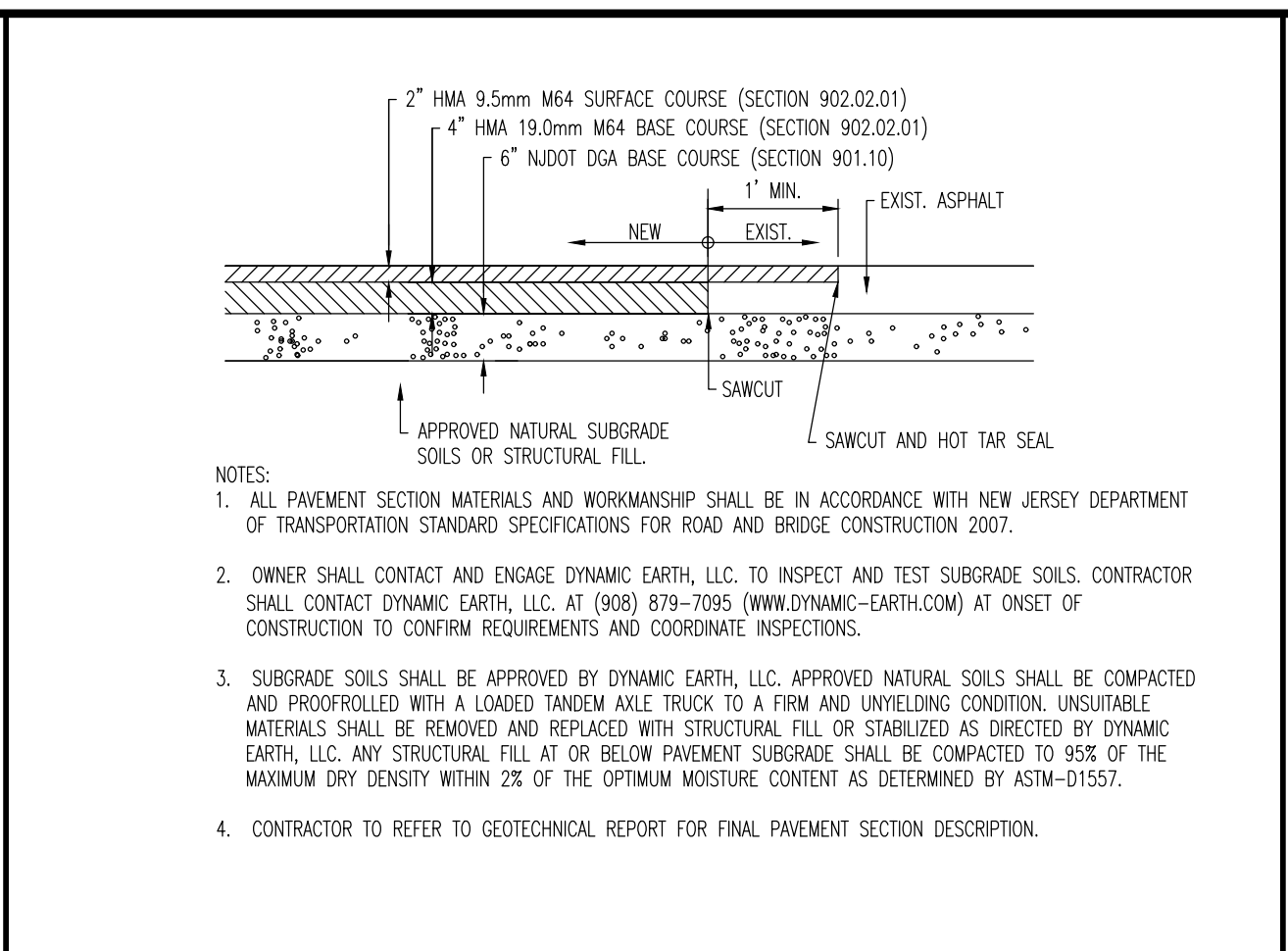


CONCRETE CURB DETAIL
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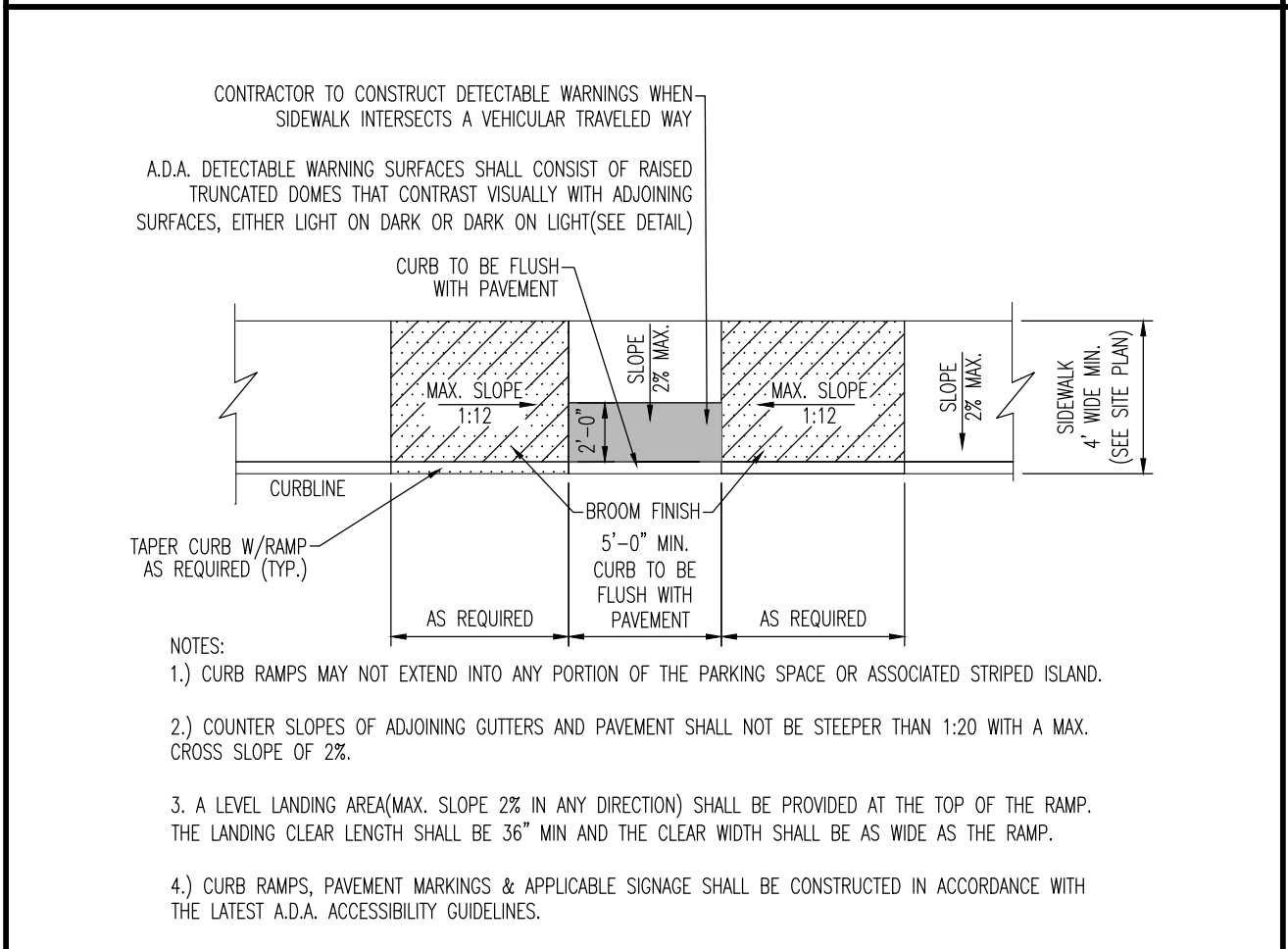


PAINTED A.D.A. PARKING SYMBOL DETAIL
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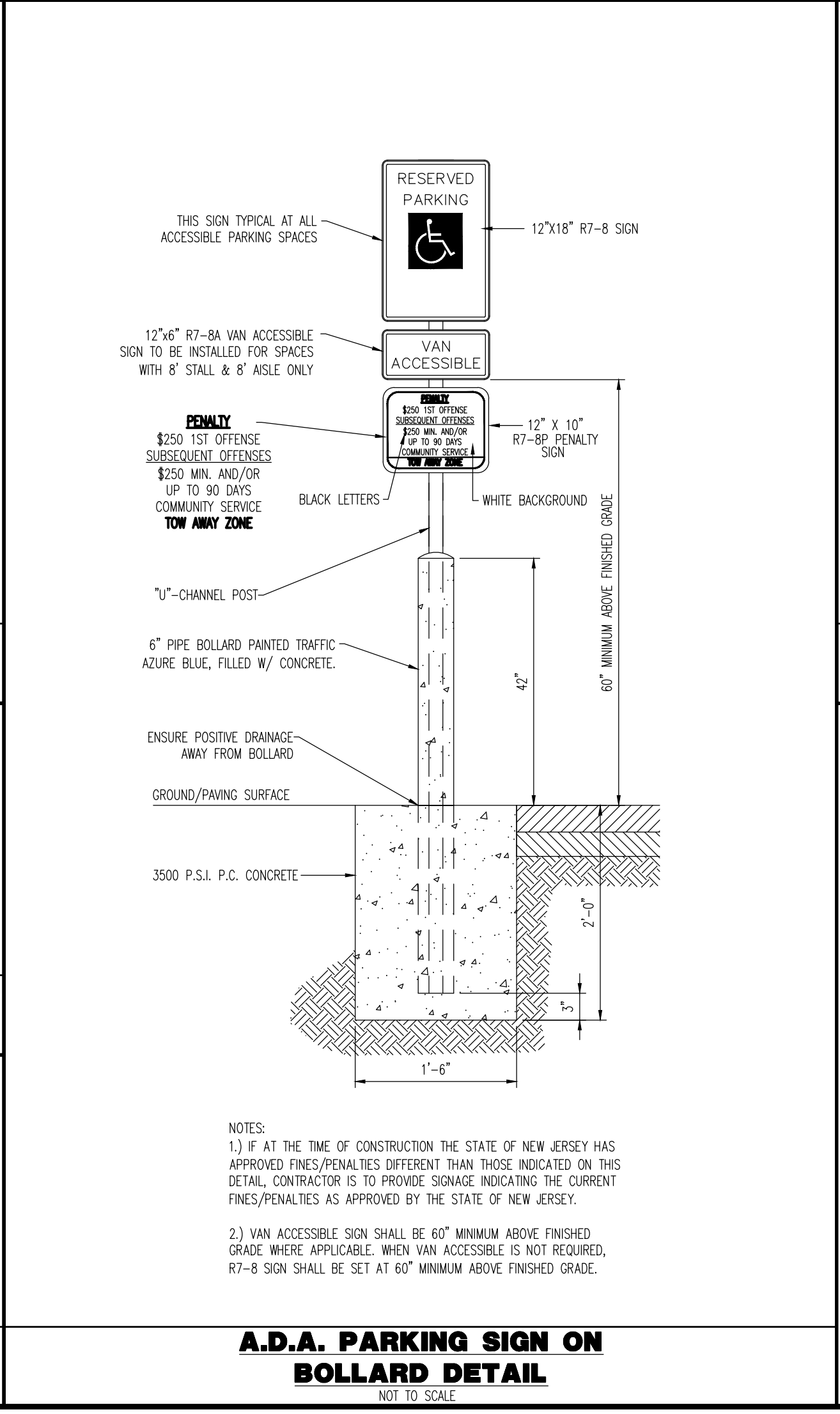
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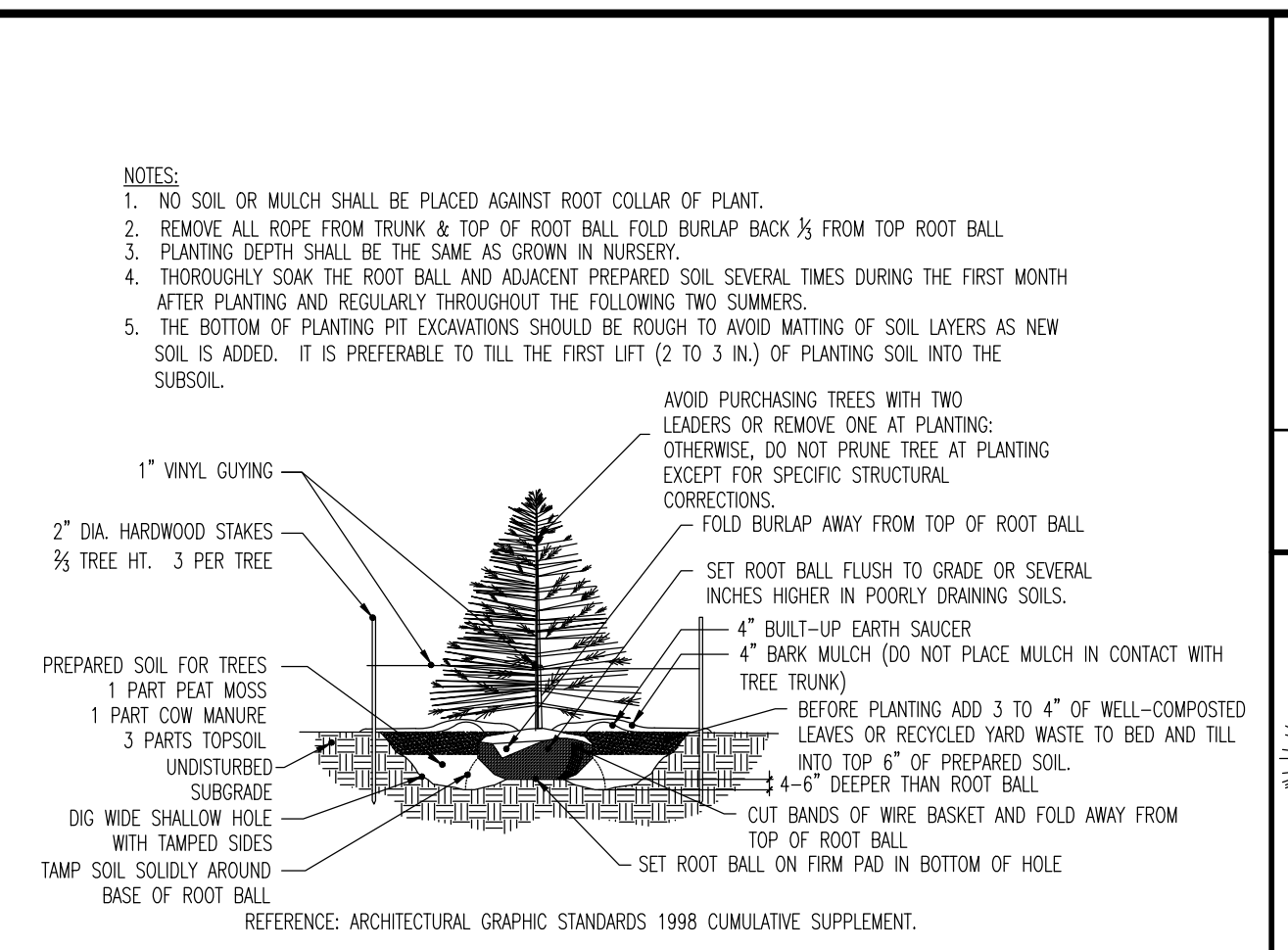
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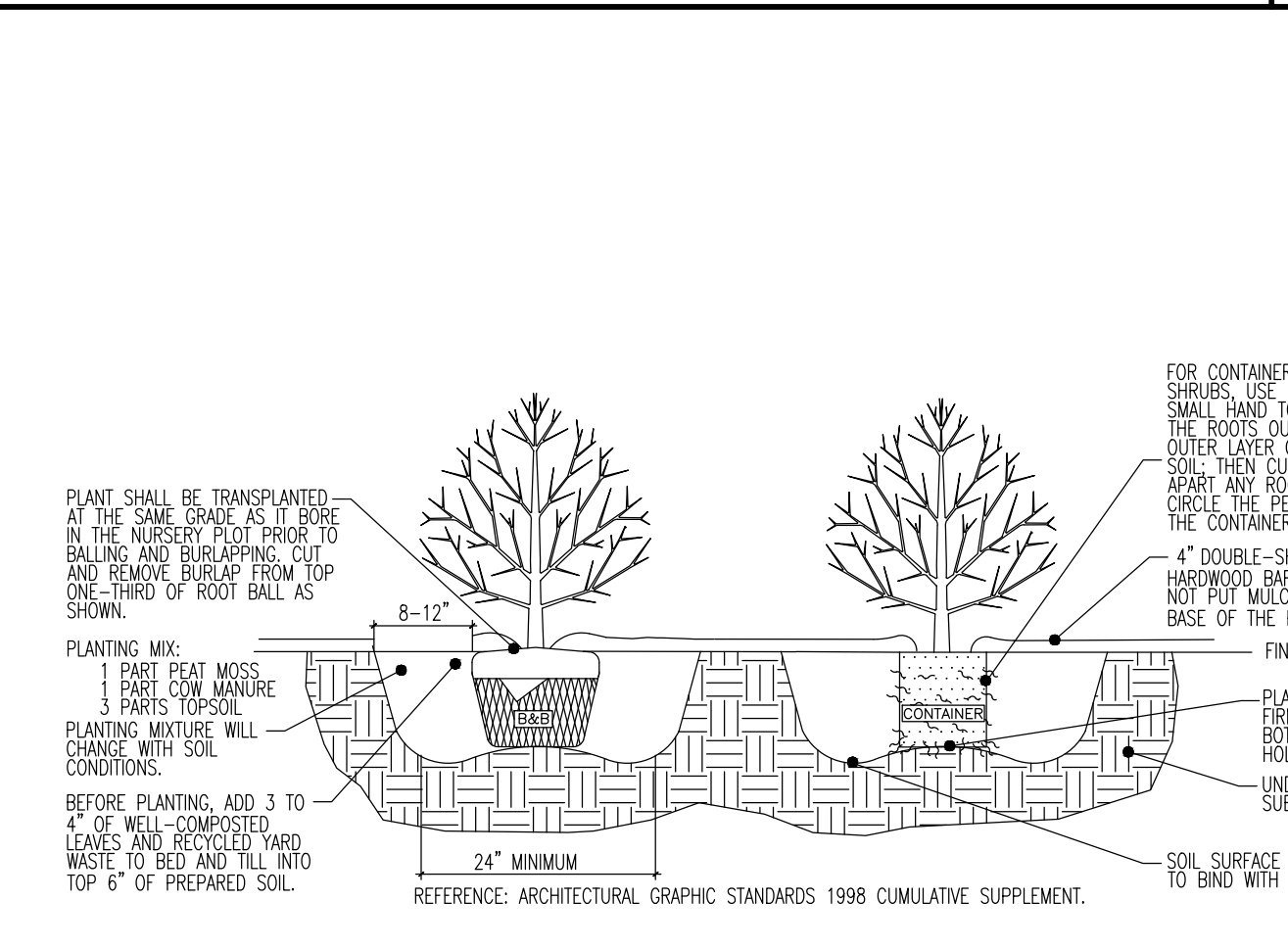
A.D.A. PERPENDICULAR CURB RAMP DETAIL (W/ FLARE SIDES)
NOT TO SCALE



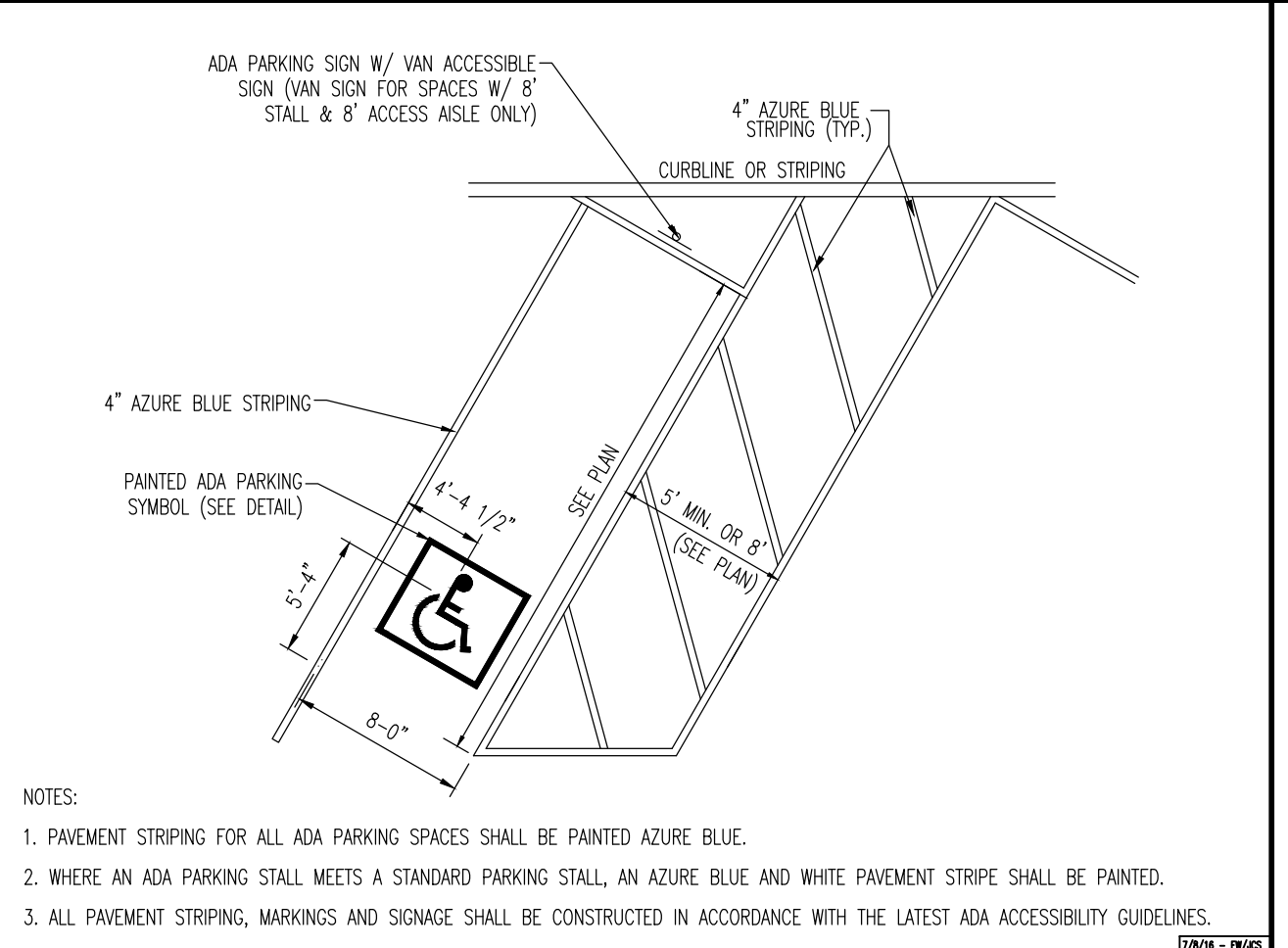
A.D.A. PARKING SIGN ON BOLLARD DETAIL
NOT TO SCALE



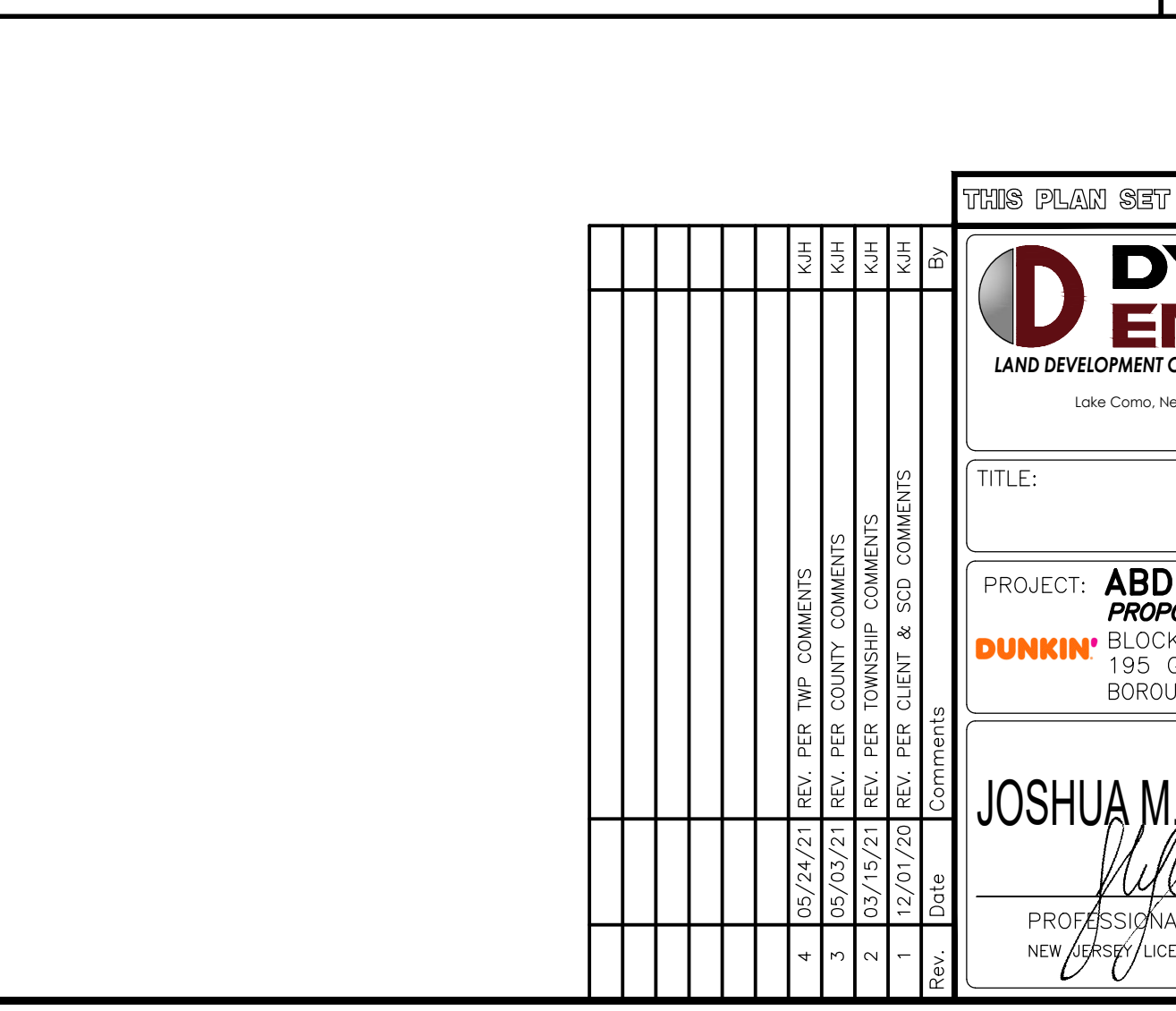
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



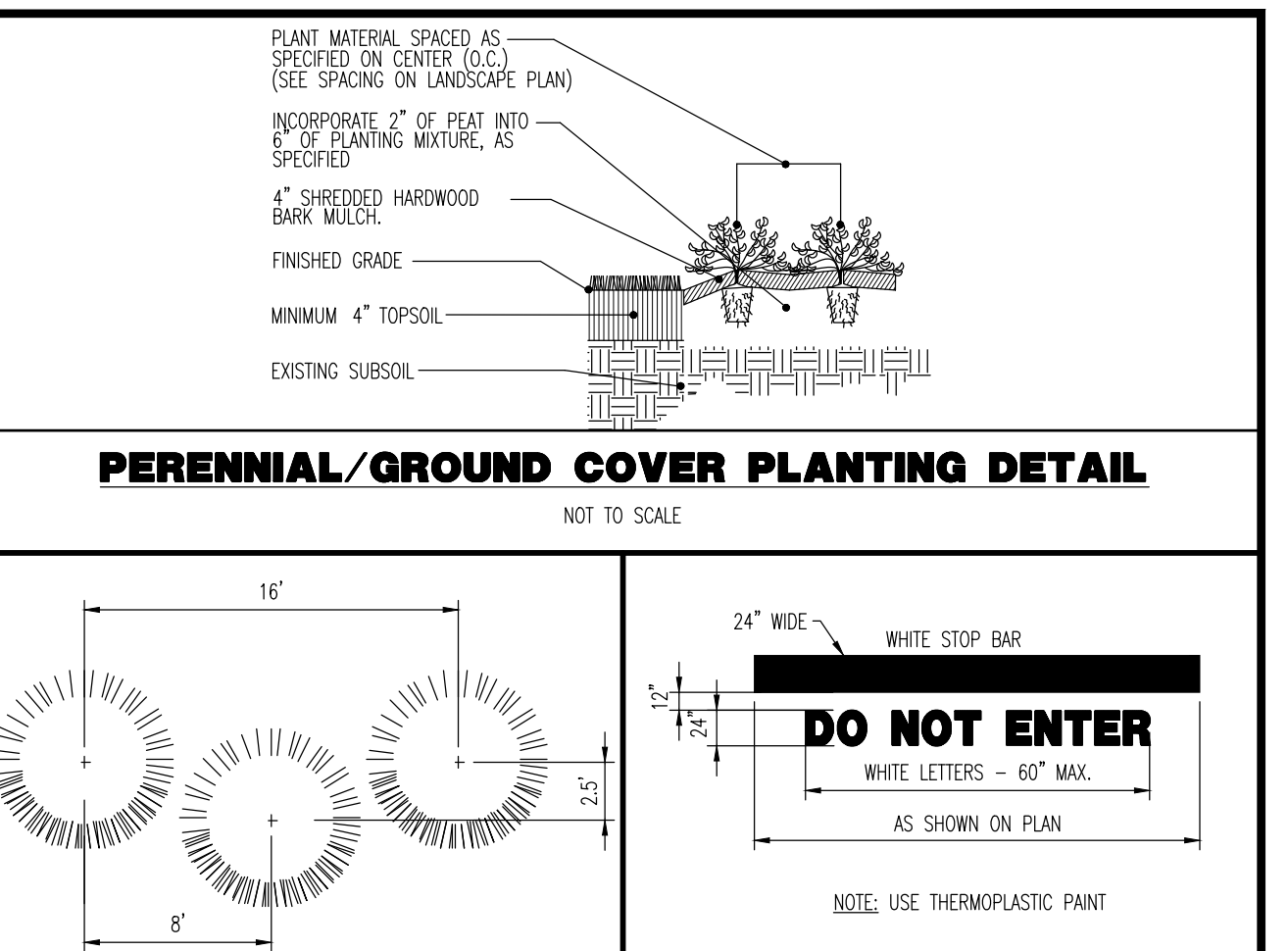
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



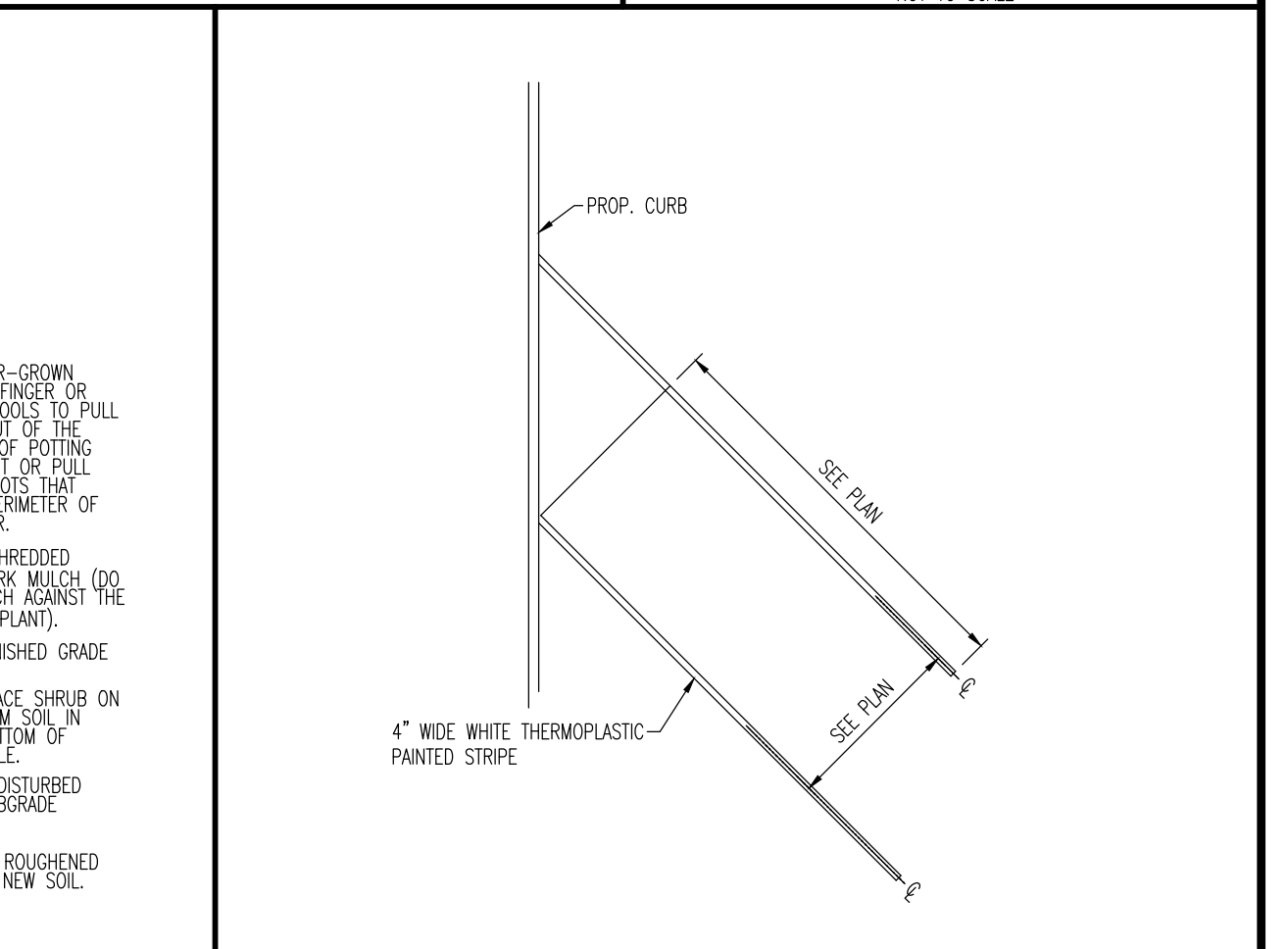
HANDICAPPED STALL MARKINGS
NOT TO SCALE



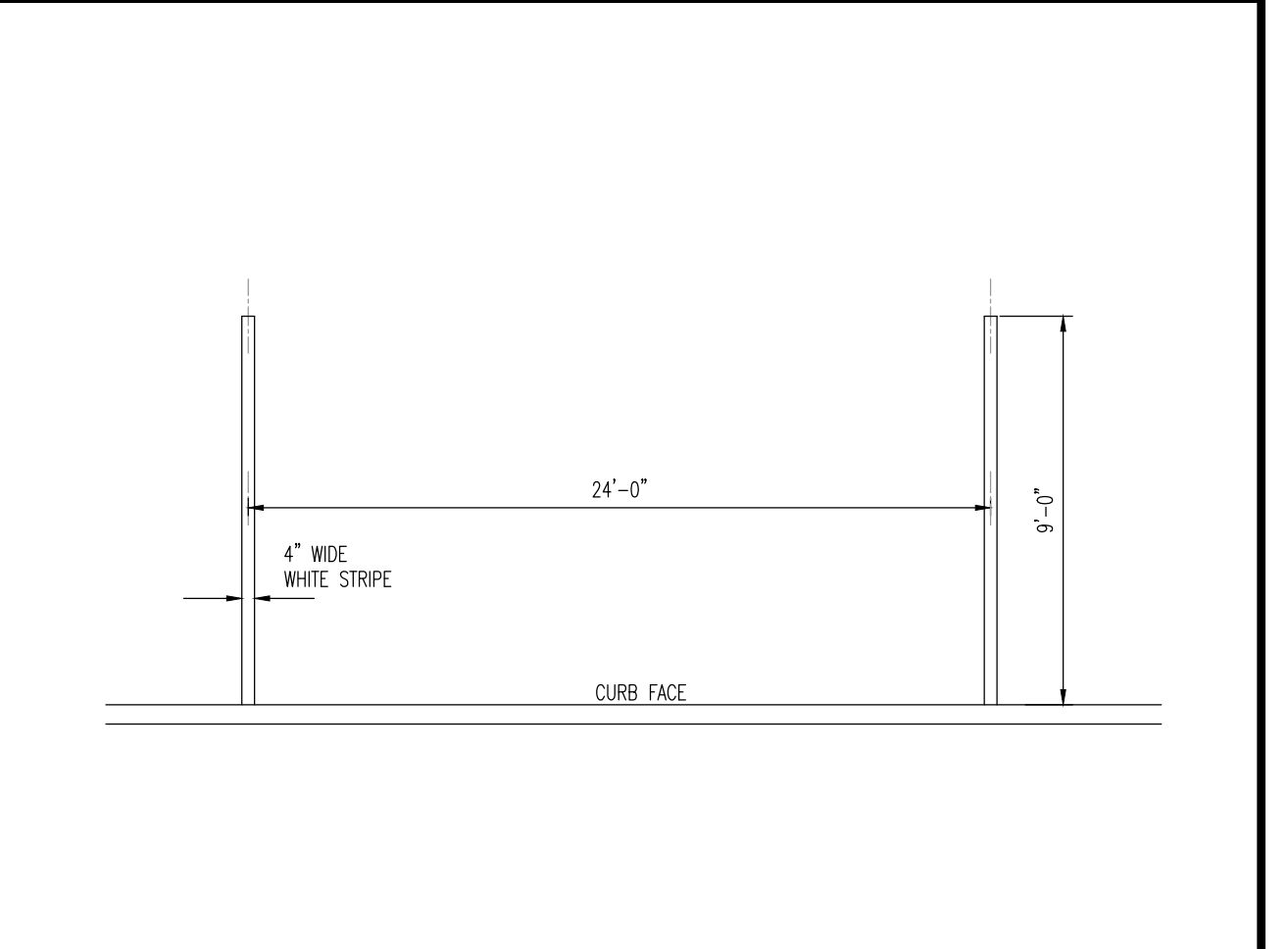
PARALLEL PARKING STALL STRIPING DETAIL
NOT TO SCALE



PERENNIAL/GROUND COVER PLANTING DETAIL
NOT TO SCALE



EVERGREEN SCREENING SPACING DETAIL
NOT TO SCALE



45 ANGED PARKING STRIPING DETAIL
NOT TO SCALE

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

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www.dynamiceng.com

1506 Main Street
Lake Como, NJ 07719
T: 732.974.0198
F: 732.974.3521
www.dynamiceng.com

PROJECT: **ABDD V. LLC**
PROPOSED DUNKIN' DRIVE-THRU RESTAURANT
BLOCK 20.10, LOT 5.01
195 GODWIN AVENUE (CR 84)
BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001
DATE: 11/12/2020
DRAWN BY: RAU
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: KCK
SHEET No:
CHECKED BY: JMS
CHECKED BY: -

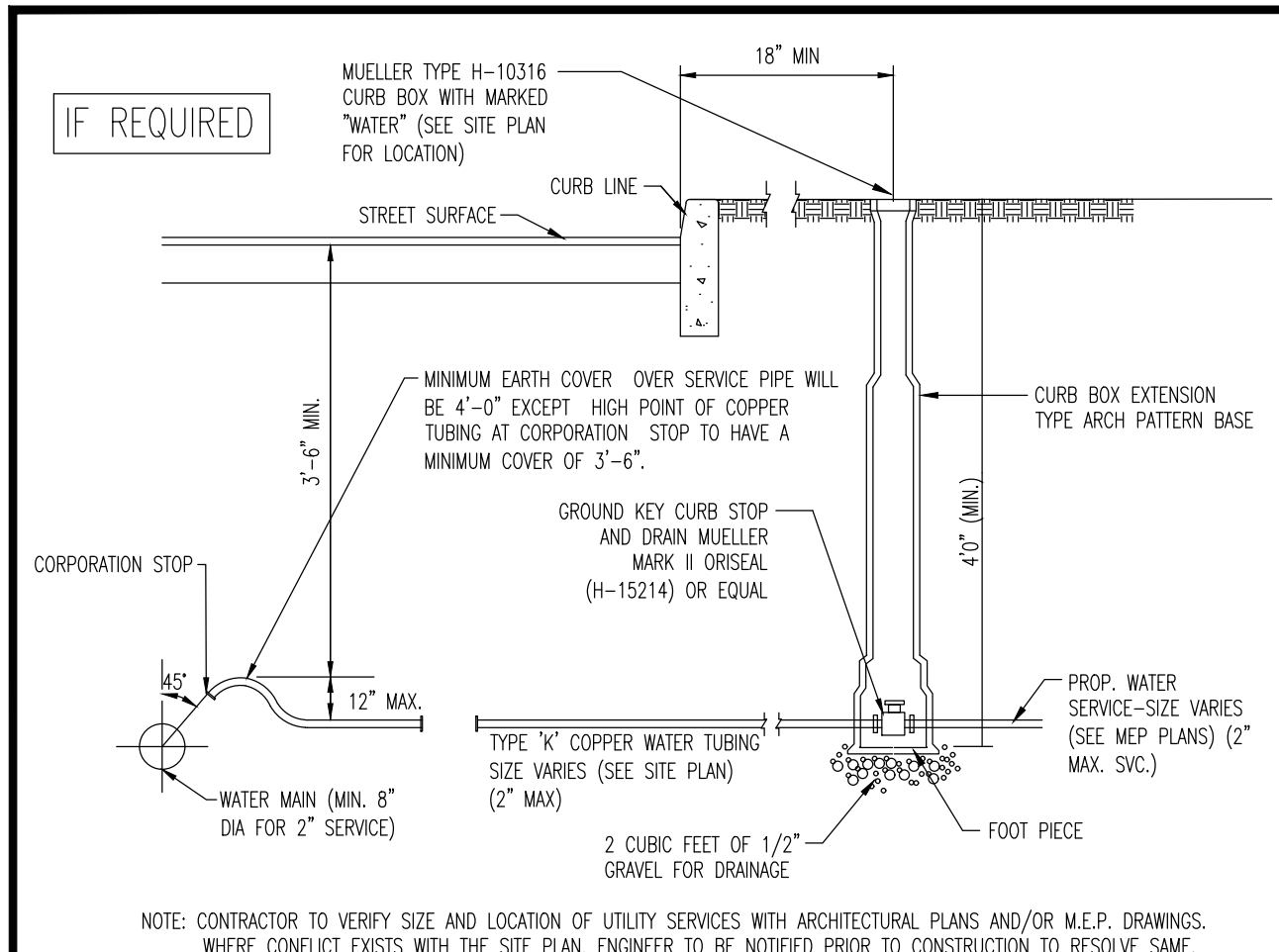
JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

KYLE C. KAVINSKI
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52985

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ALL UTILITIES REQUIRE NOTIFICATION OF LOCATIONS, DEPTHS, OR ANY OTHER INFORMATION PRIOR TO ANY EXCAVATION OR OTHER WORK. CALL 811 TO OBTAIN THE SAFEST SPACING AND DEPTHS OF ALL UTILITIES.

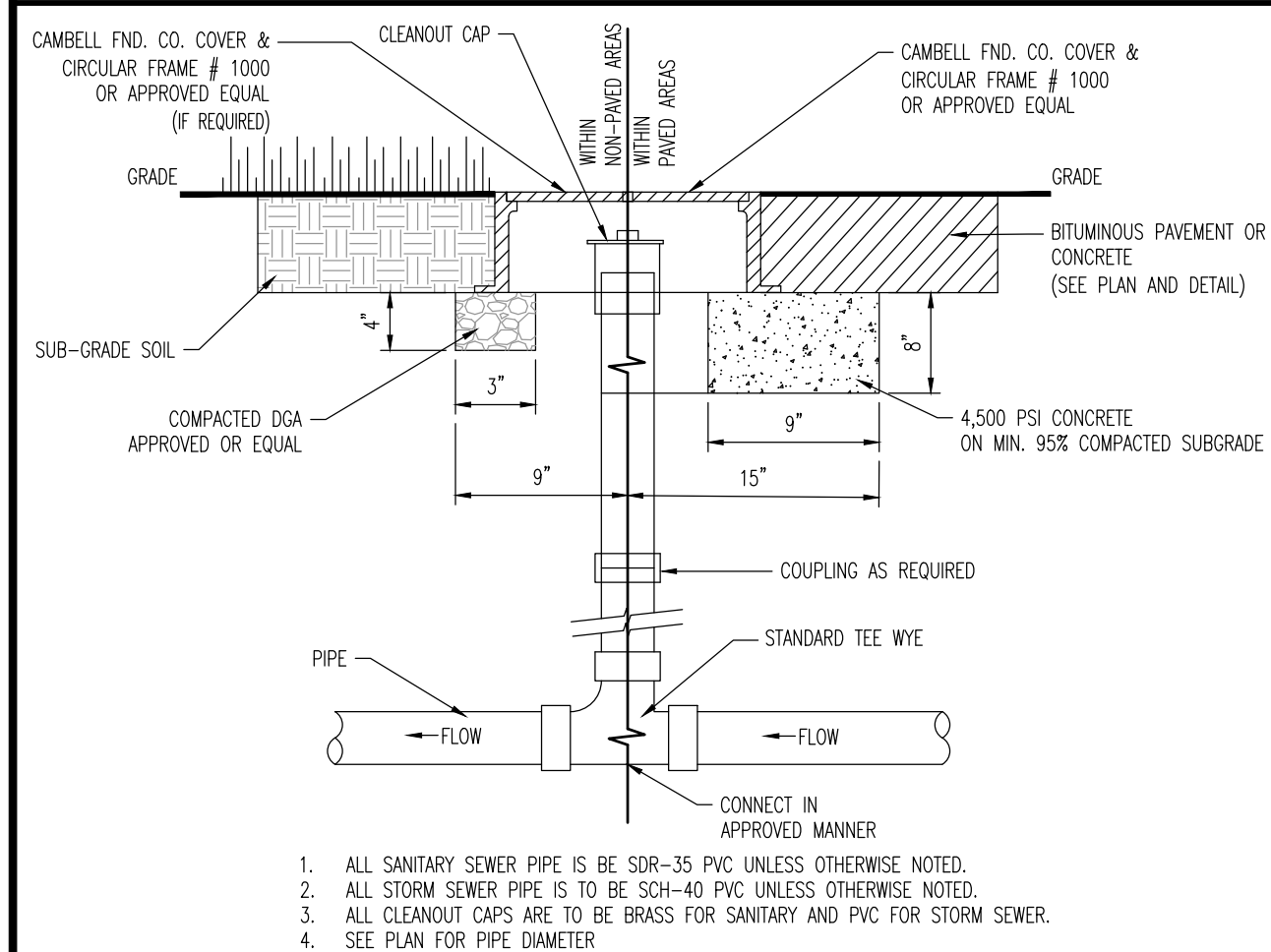
FOR STATE SPECIFICATIONS VISIT: WWW.CALL811.COM

Rev. # 4



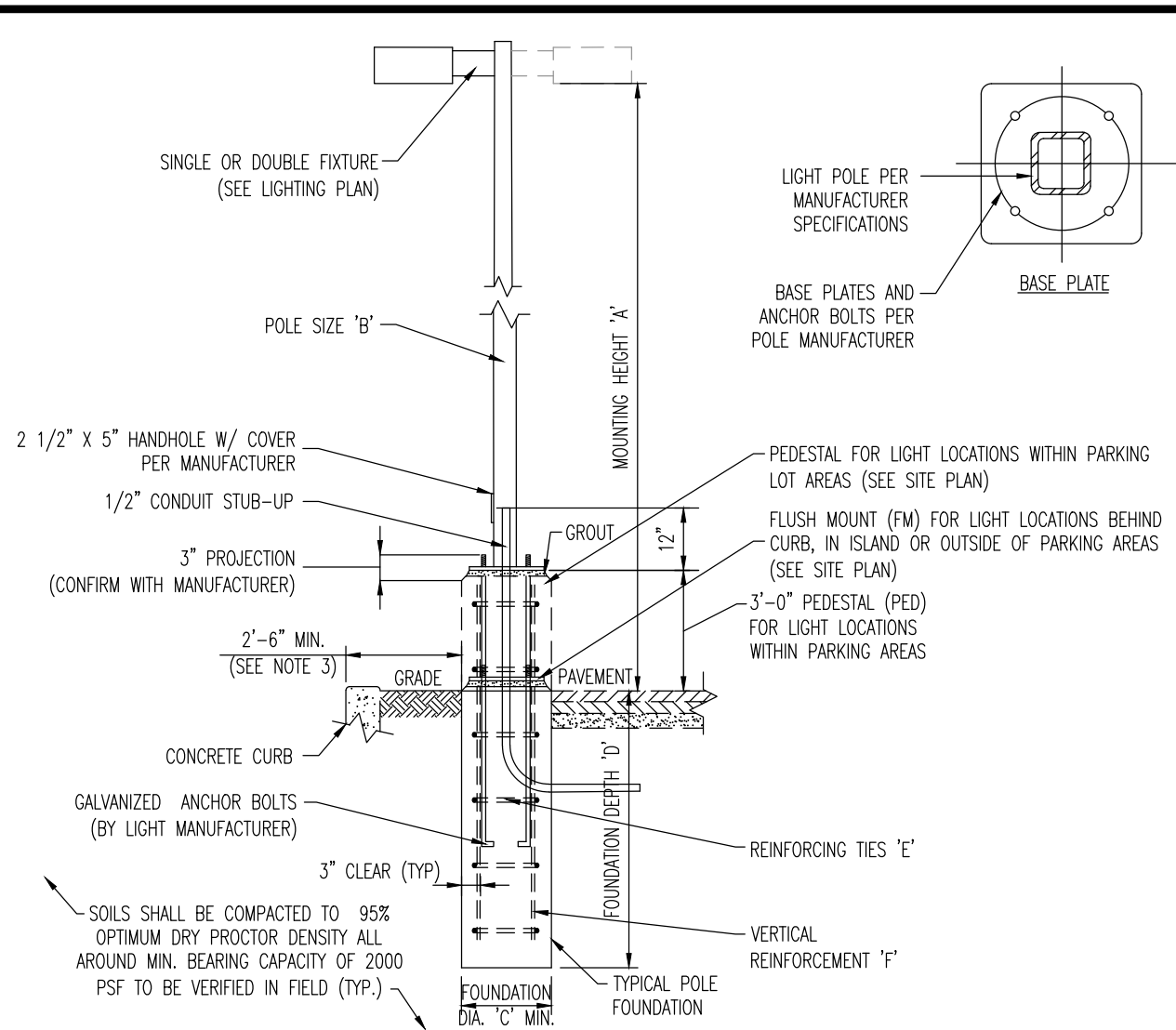
WATER SERVICE CONNECTION

NOT TO SCALE



CLEANOUT DETAIL

NOT TO SCALE



LIGHT POLE FOUNDATION SCHEDULE

MOUNTING HEIGHT ABOVE GRADE "X"	14'-11"
POLE DIA. "B"	6" SQUARE (OR PER MANUFACTURER)
# OF FIXTURES	SINGLE OR DOUBLE
FOUNDATION DIAMETER "C"	18" DIA. ROUND
FOUNDATION DEPTH "D"	6'
REINFORCING TIES "E"	#4 @ 18" O.C.
VERTICAL REINFORCEMENT "F"	(6) #5 BARS EQUALLY SPACED

NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION. ACTUAL POLE HEIGHT TO BE ADJUSTED ACCORDINGLY.

2. PROPOSED POLE IN COMBINATION WITH CONCRETE PEDESTAL TO EQUAL MOUNTING HEIGHT "X".

3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCROACHMENT OVER PROPERTY LINE.

4. BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER, LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION, CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE & REINFORCING STEEL PRIOR TO CONSTRUCTION.

SOIL NOTES

1. FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.

2. SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.

CONCRETE NOTES

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.

2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".

3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.

4. REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.

AREA LIGHT FOUNDATION DETAIL

NOT TO SCALE

Mirada Medium (MRM) Outdoor LED Area Light



OVERVIEW

Lumen Package	7,000 - 42,000
Wattage Range	53 - 390
Efficacy Range (LPW)	93 - 148
Weight lbs(kg)	30 (13.6)

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LS's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (200-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life >100K Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
- Power factor >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low component (per ANSI/IEEE C62.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C183.37. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Controls

- Optional integral passive infrared Bluetooth[®] motion and photo cell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LS's AirLink[®] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (See page 9 for more details).

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Litellite LS's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant, with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598.
- 30 rated for ANSI C136.31 high vibration applications are qualified.

Specifications and dimensions subject to change without notice.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsi-industries.com
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Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

Typical Order Example: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

Luminaire Profile	Light Source	Lumen Package	Light Output	Distribution	Orientation*	Voltage	Driver
MRM Mirada	LED	7L - 7,000 lms 10L - 10,000 lms 12L - 12,000 lms 16L - 16,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise	(Blank) - standard L - Optics rotated left 90 R - Optics rotated right 90	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Finish	Options
50 - 5,000 CCT	70CRI - 70 CRI	BRZ - Bronze	(Blank) - None
40 - 4,000 CCT		BLK - Black	IL - Integral House-side Shield [†]
30 - 3,000 CCT		GRF - Graphite	IL - Integral Louver (Sharp Split Light Cut-off) [†]
AMB - Phosphor Converted Amber [†]		MSV - Metallic Silver	
		WHT - White	
		PLP - Platinum Plus	
		SVG - Satin Verde Green	

Controls (Choose One)

(Blank) - None

Wireless Controls System

ALS - ALSi Wireless Control System[†]

ALS24 - AirLink System Control System Host / Satellite^{††}

ALS252 - AirLink System Control System Host / Satellite with 8-12 Motion Sensor^{††}

ALS252R - AirLink System Control System Host / Satellite with 12-20 Motion Sensor^{††}

ALS252L - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252M - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252S - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252A - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252B - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

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ALS252AAV - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAW - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAX - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAZ - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAA - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAB - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAC - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAD - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAE - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAF - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAG - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

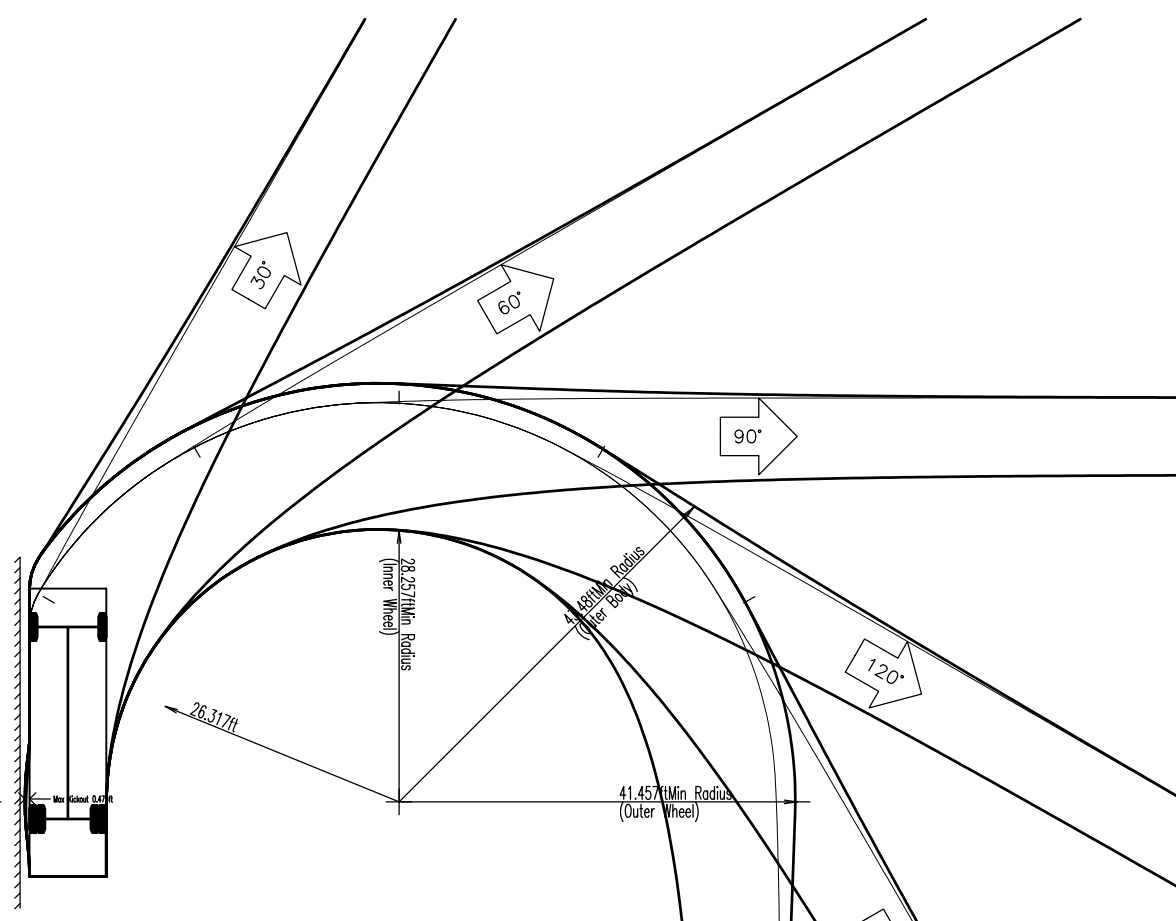
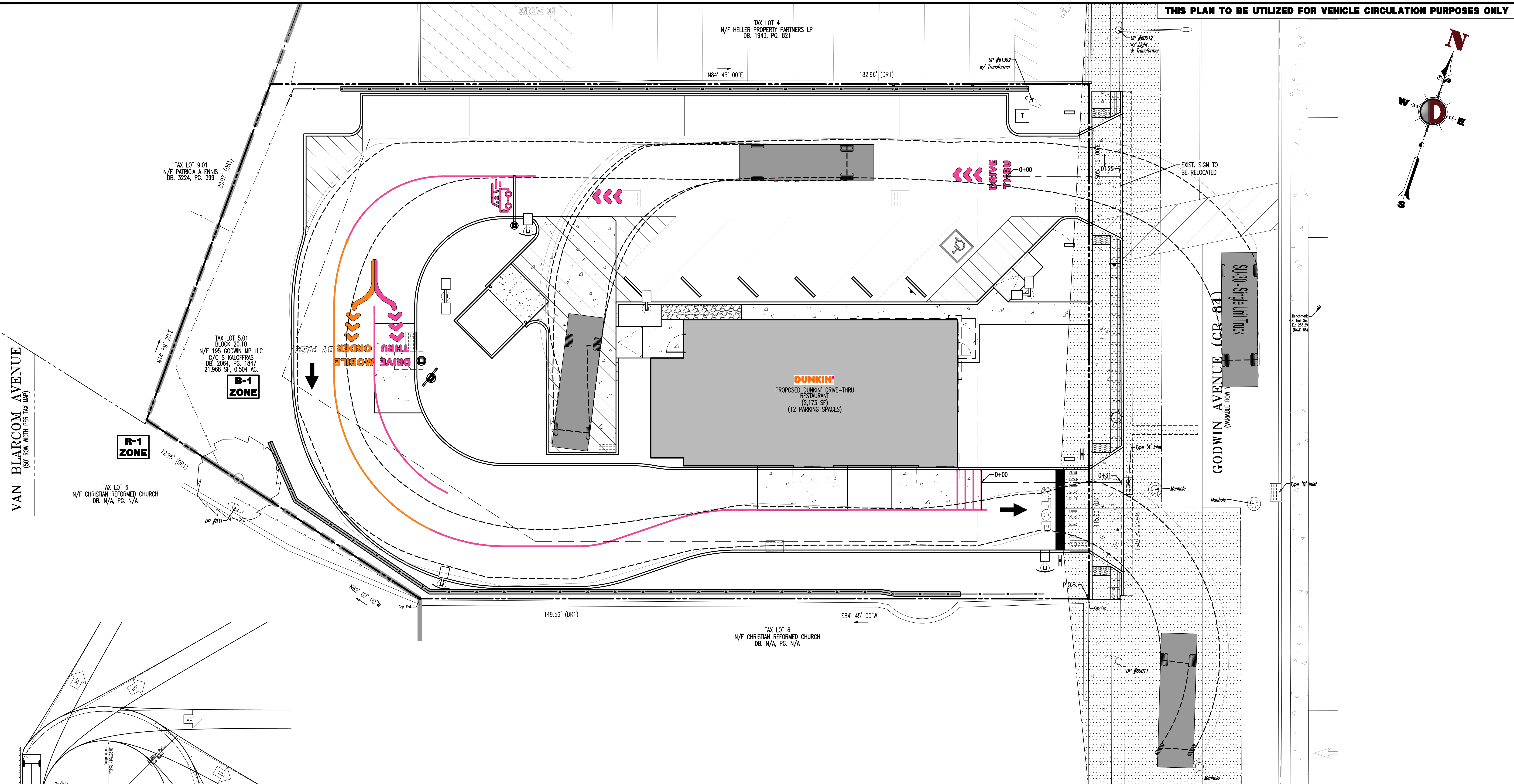
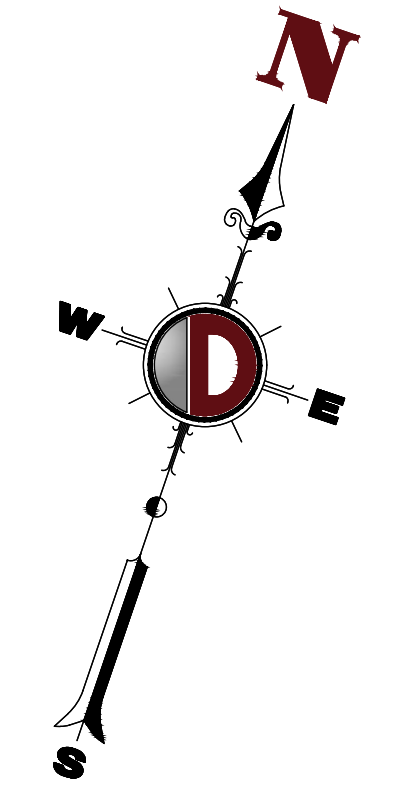
ALS252AAAH - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAI - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

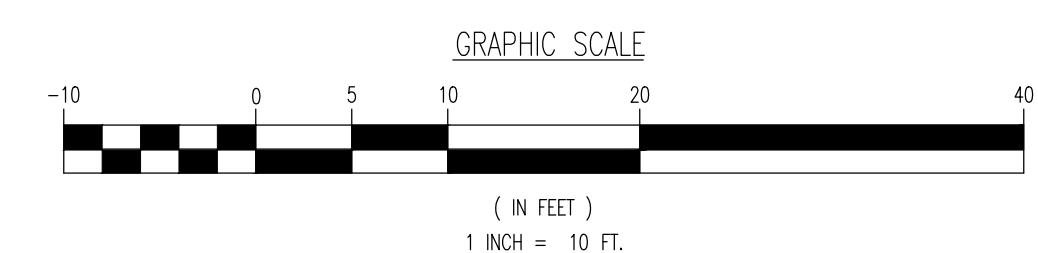
ALS252AAAJ - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAAK - AirLink System Control System Host / Satellite with 20-47 Motion Sensor^{††}

ALS252AAL - AirLink System Control System Host /



SU-30 - Single Unit Truck	Overall Length	30.000ft
	Overall Width	8.000ft
	Overall Body Height	8.000ft
	Min. Body Ground Clearance	0.000ft
	Track Width	6.000ft
	Lock-to-lock time	0.00s
	Max. Steering Angle (Virtual)	11.50°



Rev.	Date	Comments	By
4	05/24/21	REV. PER IMP. COMMENTS	KCH
3	05/02/21	REV. PER COUNTY COMMENTS	KCH
2	03/12/21	REV. PER TOWNSHIP COMMENTS	KCH
1	12/01/20	REV. PER CLIENT & SCD COMMENTS	KCH

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 F: 732.974.3521
 www.dynamiceng.com

TITLE: **VEHICLE CIRCULATION PLAN (DELIVERY)**

PROJECT: **ABDD V. LLC
 PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**

DUNKIN'
 195 GODWIN AVENUE (CR 84)
 BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001
 DATE: 11/12/2020
 DRAWN BY: RAU
 SCALE: (H) 1"=10'
 (V)
 DESIGNED BY: KCK
 SHEET No:
 CHECKED BY: JMS
15
 CHECKED BY: -
 OF 17

JOSHUA M. SEWALD
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52908

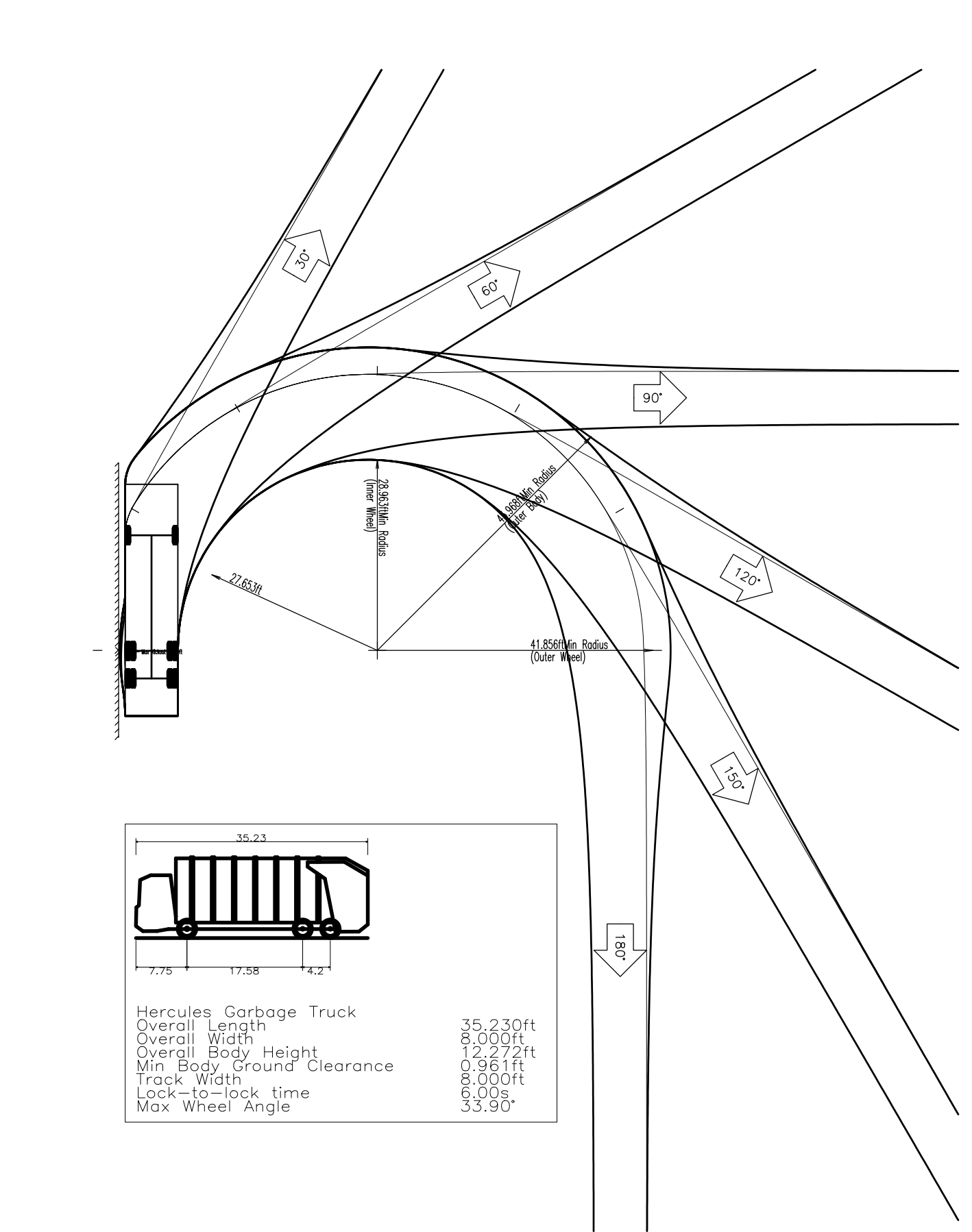
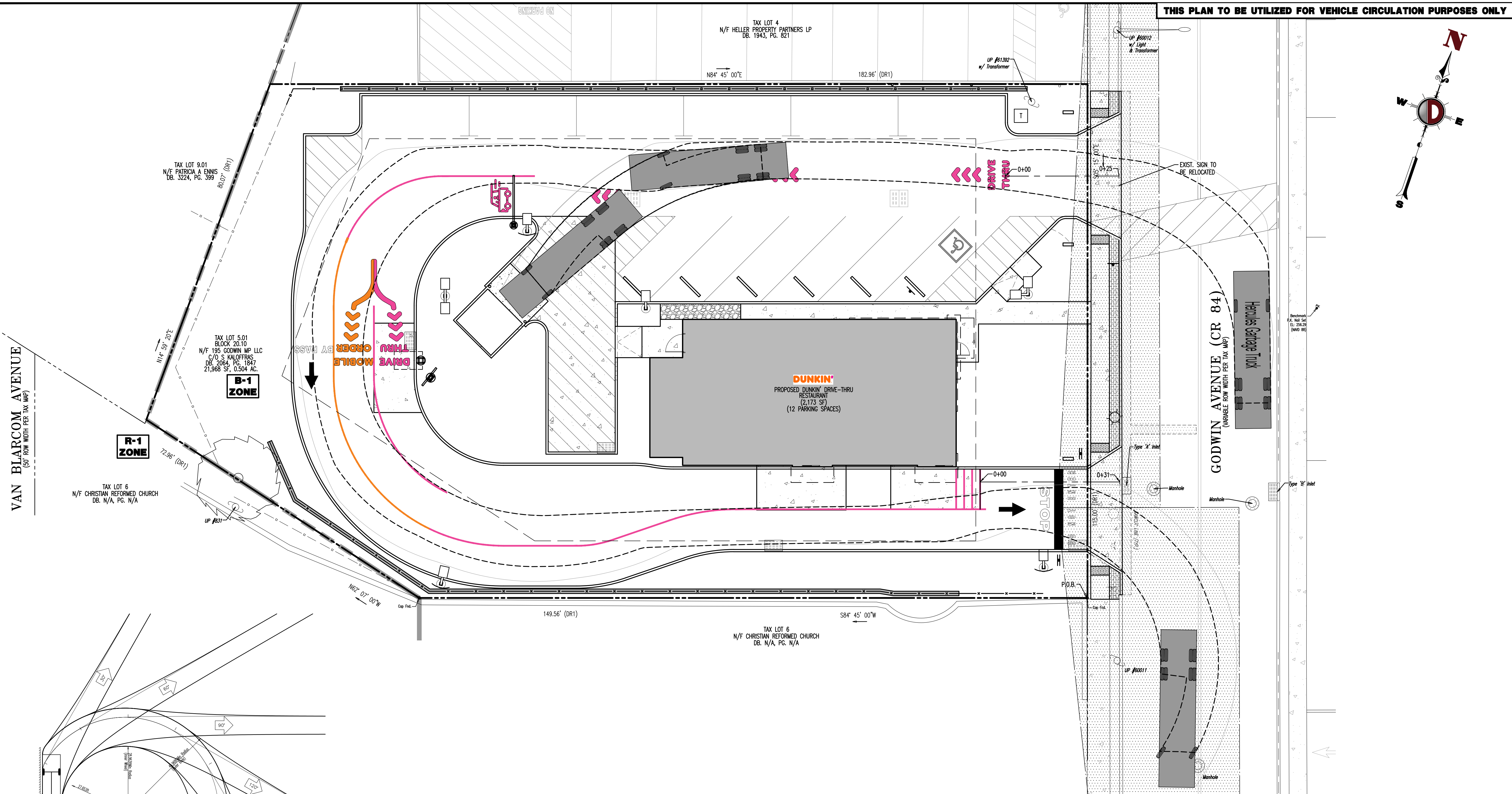
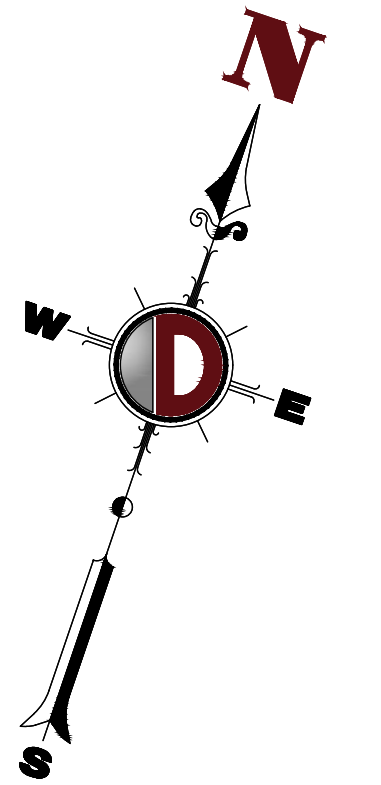
KYLE C. KAVINSKI
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52985

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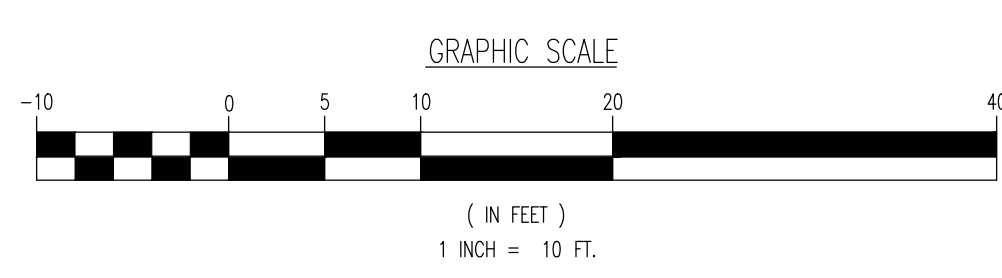
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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



Overall Length	35.230ft
Overall Width	7.750ft
Overall Body Height	12.000ft
Min. Body Ground Clearance	6.000ft
Track Width	6.000ft
Lock-to-lock time	6.000s
Max Wheel Angle	15.90°



Rev.	Date	Comments	By
4	05/24/21	REV. PER TWP COMMENTS	K/C/H
3	05/02/21	REV. PER COUNTY COMMENTS	K/C/H
2	03/19/21	REV. PER TOWNSHIP COMMENTS	K/C/H
1	12/01/20	REV. PER CLIENT & SCD COMMENTS	K/C/H

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TITLE: **VEHICLE CIRCULATION PLAN (TRASH)**

PROJECT: **ABDD V. LLC
 PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**

DUNKIN'
 195 GODWIN AVENUE (CR 84)
 BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001 DATE: 11/12/2020
 DRAWN BY: RAU SCALE: (H) 1"=10'
 DESIGNED BY: KCK (V)
 CHECKED BY: JMS SHEET No:
 CHECKED BY: -

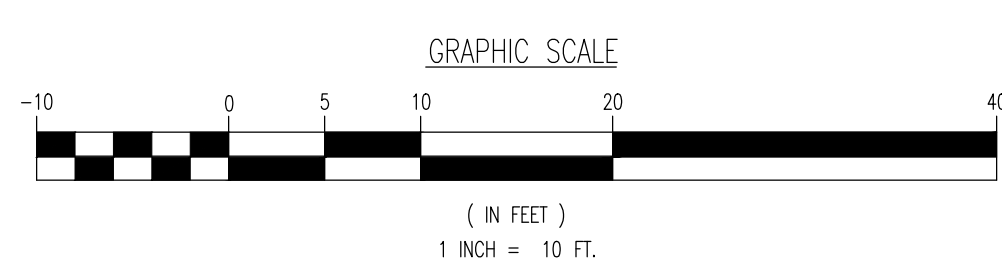
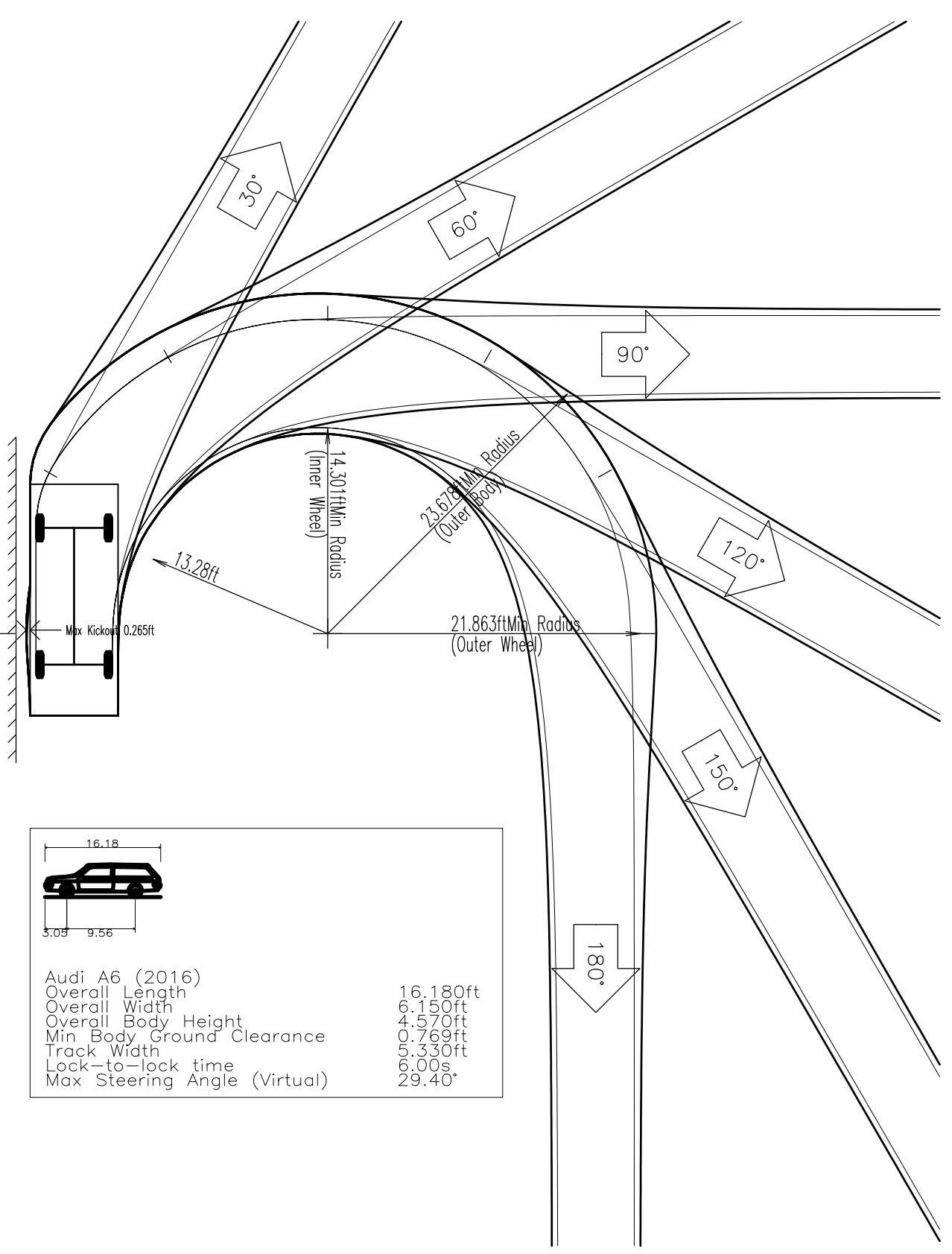
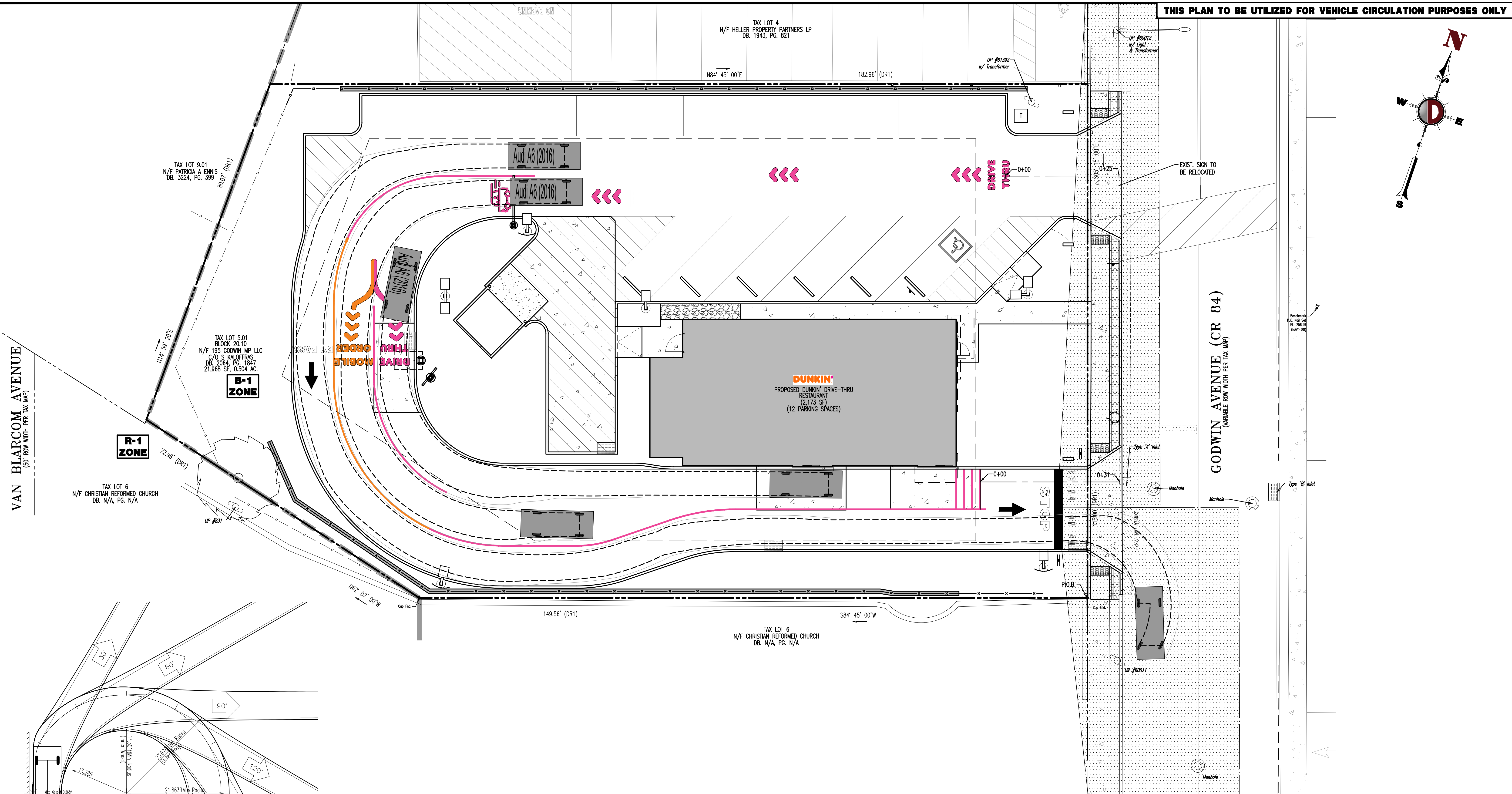
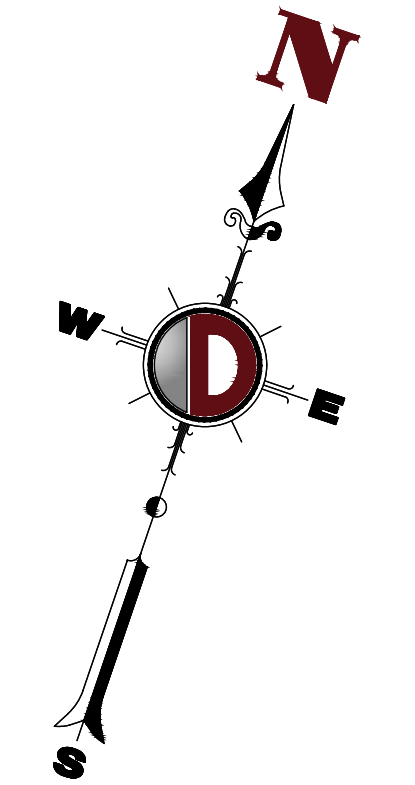
JOSHUA M. SEWALD **KYLE C. KAVINSKI**
 PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52908 NEW JERSEY LICENSE No. 52985

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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



Rev.	Date	Comments	By
4	05/24/21	REV. PER IMP. COMMENTS	K/JH
3	05/02/21	REV. PER COUNTY COMMENTS	K/JH
2	03/19/21	REV. PER TOWNSHIP COMMENTS	K/JH
1	12/01/20	REV. PER CLIENT & SCD COMMENTS	K/JH

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TITLE: **VEHICLE CIRCULATION PLAN (CAR TURNING TEMPLATE)**

PROJECT: **ABDD V. LLC
 PROPOSED DUNKIN' DRIVE-THRU RESTAURANT**

DUNKIN'
 195 GODWIN AVENUE (CR 84)
 BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

JOB No: 3486-99-001
 DATE: 11/12/2020
 DRAWN BY: K/JH
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