

COUNTY OF BERGEN
DEPARTMENT OF PLANNING AND ENGINEERING
One Bergen County Plaza • 4th Floor. • Hackensack, N.J. 07601-7076
Tel. (201) 336-6446 • Fax (201) 336-6449

James J. Tedesco, III
County Executive

Joseph A. Femia
Director/County Engineer

Aug 09, 2023

Brian Springman
72 Lake Avenue, LLC
306 W. Stevens Avenue
Wyckoff, NJ 07481-2416

Re: Application: SP 8575R1
72 Lake Avenue, LLC
Block 3.00; Lot 2
72 Lake Avenue, LLC Lot 2, Block 3.00 72 Lake Avenue Borough of Midland Park, Bergen County,
New Jersey Sheet 3 of 7 Preliminary Site Plan dated 3/21/19 and last revised 4/7/20; Dwg. C-3 Grading
& Drainage Plan dated 11/23/22 and last revised 5/17/23
Midland Park

Dear Applicant:

The above application was reviewed by the Bergen County Planning Board's Subdivision and Site Plan Review Committee at their Aug 08, 2023 meeting and was granted *conditional* approval as set forth on the enclosed Joint Report.

You should now submit your reproducible (mylar) drawing to the planner assigned to your application. When all of the requirements set forth in this letter are completed, the County will sign the mylar and release it to you for filing with the Municipal Construction Official (so that you can obtain a Building Permit). If the Joint Report is for a subdivision you must also file the mylar with the Bergen County Clerk within the time period prescribed by State Statute in order to perfect your subdivision.

PLEASE NOTE THAT CONSTRUCTION SHOULD NOT COMMENCE UNTIL FINAL COUNTY AND MUNICIPAL APPROVAL HAVE BEEN OBTAINED

In order to obtain final approval you must complete and submit all required items set forth below to:

Attn: Lori Haggerty, Recording Secretary, BCPB
Department of Planning & Engineering
One Bergen County Plaza, 4th Floor,
Hackensack, NJ 07601
201-336-6450
LHaggerty@co.bergen.nj.us

Checks: It is your responsibility to submit checks, as set forth in Section "B" of the Joint Report, payable to the County of Bergen, (do not combine fees) including but not necessarily limited to:

- Processing Fee.
- Final Approval Fee.
- Inspection Fee.

Performance Guarantee: If Section "C" of the Joint Report requires a Performance Guarantee, you can submit one of three authorized forms: (1) a surety bond issued by a surety company; (2) a two-year unconditional letter of credit issued by a financial institution; or (3) a *certified* or *bank check* payable to the County of Bergen. Please note that pursuant to State Statute (N.J.S.A. 40:55D-53a and 40:55D-53b) the Department of Community Affairs, Division of Local Government Services has approved standardized forms for performance surety bonds, maintenance surety bonds and irrevocable standby letters of credit. These forms are located in N.J. Zoning and Land Use Administration by Cox as Appendix Form Nos. 25, 25A, 25B and 25C. The County is required to accept the State's forms. Any other form of a guarantee must be approved by the County Counsel's office.

Developer's Agreement: One original of the Developer's Agreement between the County of Bergen and you will be forwarded under separate cover from the Planning Board Secretary to your attorney. Please execute the Developer's Agreement and return it to Department of Planning & Engineering (attn: Lori Haggerty) in accordance with the Memorandum of Instructions.

Deed(s) of Easement or Dedication: If the Joint Report requires a deed, please complete the appropriate forms and return to Department of Planning & Engineering (attn: Lori Haggerty). Each deed shall contain a metes and bounds description describing the additional property being conveyed to the County along with a parcel map. When submitting the deed please also send a copy of the metes and bounds description along with the parcel map to the planner assigned to your application. If you have additional questions regarding deed language please contact Lori Haggerty at lhaggerty@co.bergen.nj.us or 201-336-6450.

The County Executive or County Administrator will execute the Developer's Agreement *after* receipt of all of the required checks, the performance guarantee, the proposed deed(s) of easement and the Developer's Agreement executed by you as the Applicant. Thereafter a fully executed Developer's Agreement will be forwarded to you. If the mylar has also been submitted, your approval will then be marked as "final."

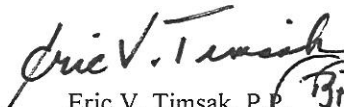
Questions: For general questions, including but not limited to the status of your approval, the technical details of your application (i.e. contents of the Joint Report, your plan, metes and bounds descriptions for deeds of easement, etc.) please contact the planner assigned to your application.

Be advised that your project will not be deemed complete until you have contacted the county inspector at (201) 336-6815 so that he may conduct a final inspection. Only after the County has received a satisfactory inspection report from the inspector can your performance guarantee/cash be released. YOUR PERFORMANCE OBLIGATION WILL NOT BE RELEASED UNTIL YOU SCHEDULE A FINAL INSPECTION. If the inspection involves survey monuments, you must supply him with the GPS coordinates *before* he does a field inspection of the monuments.

In the event that none of the above persons are able to resolve your question, Lori Haggerty will forward the issue to the County Counsel for resolution.

In closing, please note that all communications should reference the Application's SP or SD number as well as the project's name.

Sincerely,


Eric V. Timsak, P.P.
Supervising Planner

Encl.

C: Midland Park Board of Adjustment; Board Engineer; Construction Official (w/ Joint Report)
Weissman Engineering, Co (w/ Joint Report)
Schreck Price (w/ Joint Report)
Lori Haggerty



COUNTY OF BERGEN

Department of Planning & Engineering

One Bergen County Plaza, 4th Floor, Hackensack, NJ 07601-7076 (201) 336-6446

This Joint Report has been prepared by the Department of Planning & Engineering on behalf of the Bergen County Planning Board indicating the Requirements and Conditions for Final Approval of the following-named Application.

THIS REPORT DOES NOT REPRESENT APPROVAL

SP 8575R1 - MIDLAND PARK

Page 1 of 5

A: GENERAL INFORMATION:

- 1. Title: 72 Lake Avenue, LLC Lot 2, Block 3.00 72 Lake Avenue Borough of Midland Park, Bergen County, New Jersey Sheet 3 of 7 Preliminary Site Plan dated 3/21/19 and last revised 4/7/20; Dwg. C-3 Grading & Drainage Plan dated 11/23/22 and last revised 5/17/23
- 2. Municipality: MIDLAND PARK County Road Affected: LAKE AVENUE
- 3. Location: 72 Lake Avenue
- 4: Project Data:

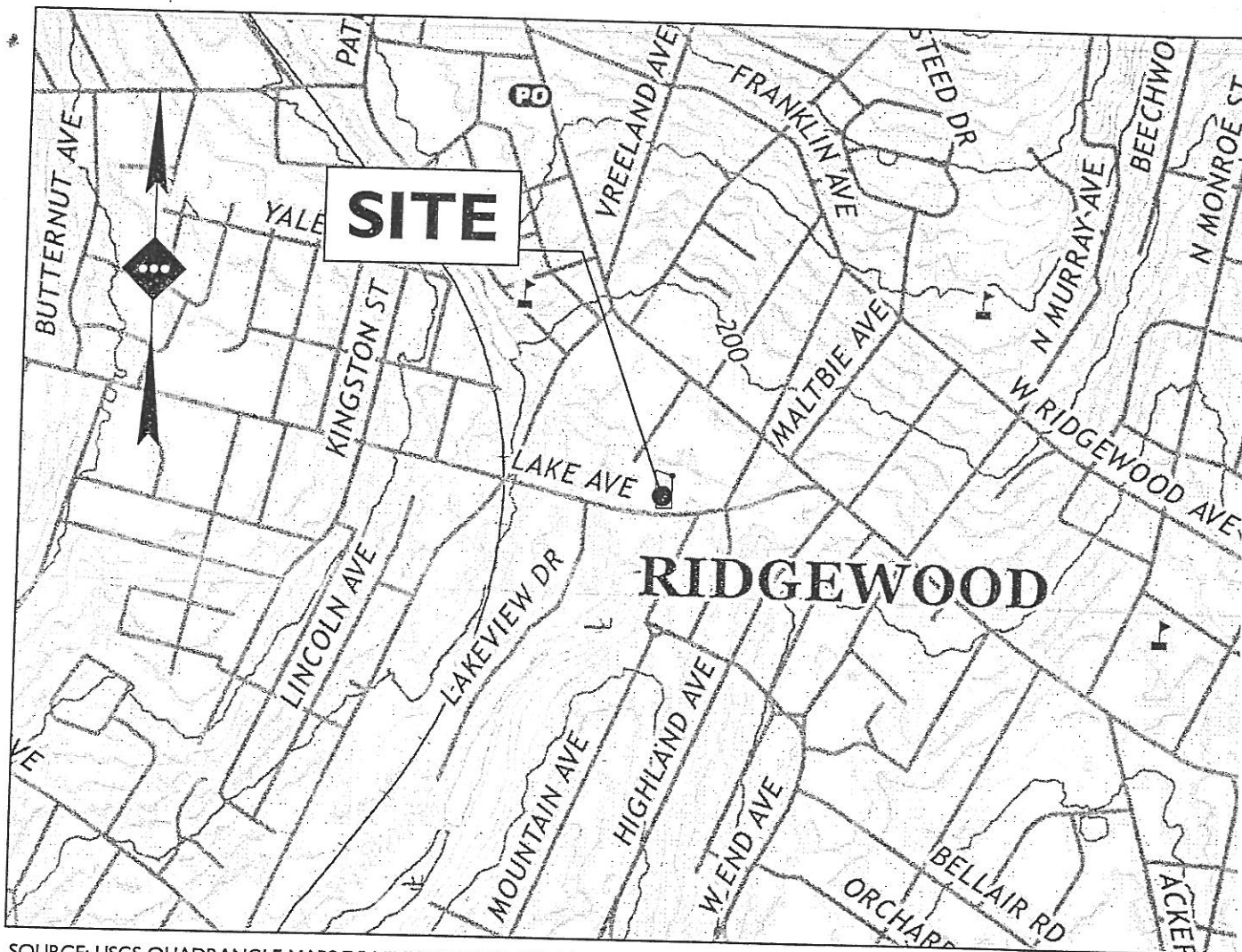
Plot Area (Acres):	0.42	Block #:	3.00	Lot #:	2
Proposed Use:	Residential	No of Dwelling Units:	5		
Parking Stalls:		Existing:	0	Proposed:	14
				Total:	14
Building Area (sq.ft):		Existing:	0	Proposed:	3,709
				Total:	3,709
Impervious Area (sq.ft):		Existing:	3,393	Proposed:	10,719
				Total:	14,112
- 5. Notes: The Applicant is demolishing an existing dwelling (1,690 s.f.).
- 6. Project Description:

The Applicant proposes to construct a five (5) unit townhouse development.
- 7. Applicant: 72 Lake Avenue, LLC Phone: (201) 328-5993
 Attn: Brian Springman, 306 W. Stevens Avenue, Wyckoff, NJ 07481-2416
- 8. Attorney: Schenck Price Phone: (201) 262-1600
 Attn: Edward Trawinski, Esq., 115 West Century Road, Suite 100, Ramsey, NJ 07652
- 9. Owner: Same as Applicant Phone:
- 10. Preparer: Weissman Engineering, Co Phone: (201) 445-2799
 Attn: Robert Weissman, PE, 686 Godwin Avenue, Midland Park, NJ 07432-1489
- 11. Purchaser: None Phone:

B. REQUIREMENTS AND CONDITIONS FOR APPROVAL:

FEES:

- 1. A check in the amount of \$300.00 (made payable to the County of Bergen) shall be forwarded to the Department of Planning and Engineering, Division of Land Use, to cover the Reprocessing Fee.
- 2. A check in the amount of \$280.00 (made payable to the County of Bergen) be forwarded to the Department of Planning and Engineering, Division of Land Use, to cover the Processing Fee. - Fee paid 9/2/20



SOURCE: USGS QUADRANGLE MAPS 7.5 MINUTE SERIES : MIDLAND PARK, NEW JERSEY, 2019

KEY MAP

SCALE: 1" = 1,000'±



3. A check in the amount of \$1,352.00 (made payable to the County of Bergen) shall be forwarded to the Department of Planning and Engineering, Division of Land Use, to cover the Inspection Fee (6% of the total amount of construction) for the items of construction indicated in Section D. below. - Fee paid 9/2/20
4. A check in the amount of \$250.00 (made payable to the County of Bergen) be forwarded to the Department of Planning and Engineering, to cover the Final Approval Fee. - Fee paid 9/2/20
5. Storm drain connection is proposed and \$600.00 (check made payable to "County of Bergen") shall be paid for permission to connect the proposed 58 linear feet of 18" R.C.P. to the existing inlet (GR. 174.67 proposed INV 171.0). This check shall be forwarded to the Department of Planning and Engineering. - Fee paid 9/2/20

IMPROVEMENTS:

6. New curb shall be constructed along the property frontage and along Lots 3 and 4.01 as depicted on the sheets referenced in Section A-1.
7. Proposed driveway and curb cut shall be twenty-four (24) feet and thirty-four (34) feet in width respectively incorporating a standard concrete apron and sidewalk design.
8. Curb and roadway specifications are to be in accordance with the Bergen County Engineer's "Design and Construction Plan Standards" available from the County Engineer's Office (201-336-6800).

SIGNAGE & STRIPING:

9. A "STOP" (R1-1) sign and associated painted stop bar (24" wide) shall be installed and applied, respectively, at the proposed driveway facing exiting vehicles.
10. A "No Left Turn" (R3-2) sign shall be installed on the same post as the "STOP" (R1-1) sign referenced in item B-8 above.
11. A "No Left Turn" (R3-2) sign shall be installed and maintained between the edge-of-pavement and the right-of-way line for Lot 2 in Block 2.01 as depicted on Sheet 3 of 7 referenced in Section A-1.
12. All traffic signs must conform in face design and construction to specifications found in the Manual on Uniform Traffic Control Devices, U.S. D.O.T., Federal Highway Administration. Specifically, Regulatory and Warning signs shall be fabricated of flat aluminum sheets and shall be covered with ASTM D4956 Type X-I super high efficiency full cube retro-reflective sheeting.

PROPERTY CONVEYANCE:

13. A road widening easement line shall be established at thirty-five (35) feet from the surveyed centerline of the right-of-way of Lake Avenue.
14. The additional property being provided for road purposes be conveyed to the County of Bergen by Deed of Easement.

DRAINAGE:

15. A Type "B" Inlet shall be installed in front of Lot 3 at the new curblines as depicted on Dwg. C-3 referenced in Section A-1.
16. 18" R.C.P. - Class IV shall be installed within the county right-of-way from the proposed manhole (RIM 177.20 INV 172.62) to the proposed Type "B" Inlet ((GR. 176.80 INV. 172.44) as depicted on Dwg. C-3 referenced in Section A-1.
17. 18" R.C.P. - Class IV shall be installed within the County right-of-way from the proposed Type "B" Inlet ((GR. 176.80 INV. 172.34) to the existing storm manhole (RIM 174.77 INV 171.35) as depicted on Dwg. C-3 referenced in Section A-1.

18. All inlets within the County R.O.W. shall have bicycle grates (Campbell Foundry Pattern #2617), and "N-Eco" curb pieces (Campbell Foundry Pattern #2618). All goods and products to be used shall be American made, wherever available, consistent with State Statute 40A:11-18.

19. Any proposed storm and sanitary manholes within the driveway shall be removed from the sidewalk and constructed behind the existing right-of-way line for Lake Avenue.

20. The top one (1) foot of all proposed County maintained precast inlets and manholes are to be given a factory coating of an epoxy sealer on both the inside and outside face of the structure. The epoxy sealer shall be EUCOPOXY LPL MV material supplied by the Euclid Chemical Company or equal as per the NJDOT 2007 Standard Specifications for Road and Bridge Construction Subsection 912.02.02.

21. The proposed stormwater infiltration system shall be constructed as depicted on Dwg. C-3 referenced in Section A-1 and meet all of the applicable requirements of Bergen County's Site Plan Ordinance.

22. As per B-20 above, provide a construction sequence plan demonstrating how the infiltration area will be protected during construction to avoid compaction by heavy construction vehicles.

PROPERTY MONUMENTS/MARKERS:

23. Concrete monuments shall be installed at the points where the proposed road widening easement line intersects with the side property lines with Lots 1.01 and 3.

24. Applicant's Surveyor shall complete and return the "Survey form for Monuments" form prior to the release of the posted performance bond. Said form shall be submitted to the County Inspector with a copy submitted to the Department of Planning and Engineering.

GENERAL:

25. All of the requirements, conditions and recommendations of Joint Report #SP 8575 dated 7/14/2020, not modified by this Joint Report, shall remain in full force and effect. This Joint Report reflects the new attorney of record and the new drainage plan prepared by Stonefield Engineering & Design - signed by Jake Modestow, P.E.

26. The County herein reserves the right to impose left turn prohibitions into the subject property at a future date if deemed necessary to ensure the safe and efficient movement of traffic along Lake Avenue.

27. The County herein prohibits left turn maneuvers out of the site along Lake Avenue.

28. Proposed sidewalk be placed a minimum of five (5) feet behind the proposed curbline.

29. Any proposed plantings along the proposed driveway shall have a mature height of thirty (30) inches or less, measured from the driveway pavement, to ensure adequate sight distance along Lake Avenue.

30. All materials and construction performed in any of the County of Bergen's right-of-way/road widening easement shall be in accordance with currently adopted New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction (2007 Edition or newer) as modified by any Supplemental Specifications and amendments by the N.J. D.O.T. and County of Bergen Specifications. This work includes but is not limited to the following: monuments, reference markers, curbs, sidewalks, guide rail, guide rail end treatments, fences, retaining walls, storm drainage pipes, storm drainage structures, bridges, culverts and roadway construction. Omission and/or corrections deemed necessary to conform to any specifications and details shall be the responsibility of the project's Applicant, Developer, Contractor and/or Property Owner.

31. The Applicant / Property Owner shall be responsible to maintain required sight lines, along the subject property frontage, for an exiting vehicle onto the county road. This includes the removal of any identified obstructions (e.g. trees, limbs, branches, ornamental walls and ground brush) within the county right-of-way / county easement area.

32. The project shall comply with all the requirements set forth by the Bergen County Soil Conservation District (N.J.S.A. 4:24-43). A copy of the Soil Conservation District approval letter shall be submitted to this office.

Nancy D. ...
Assistant County Engineer

P.E. *6-22-23*
DATE

Ernst ...
Division of Land Use

P.P. *6/28/23*
DATE

M 6/21/23
PT 6/22/23
TWC 6/22/2023

BERGEN COUNTY DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

JOINT REPORT ADDENDUM

In accordance with N.J.S.A. 40A:11-18 only manufactured products of the United States, wherever available, shall be used for work to be performed, as noted in Section C of the attached Joint Report, in the County right-of-way or other property belonging to the County.

Curb Specifications

Curb shall be Bergen County standard 8"x9"x20" with an 8" vertical face, shaped and with joints as noted on standard detail drawing. Curb grades shall be set so that the new pavement widening shall be a minimum of 2% cross slope from the edge of the existing pavement to the new curb line.

Concrete shall be Class B air entrained. Cement shall be Type II or as approved by the County Engineer.

Road Specifications

Minimum specifications for pavement to be installed on the subject County road(s) are as follows:

- (1) Sub-grade shall be shaped and compacted and when finished, it shall conform to the required grade and contour, then
- (2) Eight (8") inches of dense -graded aggregate base course, then
- (3) Six (6") inches of hot mix asphalt, 19M64 base course, then
- (4) Two (2") inches of hot mix asphalt 9.5M64 surface course.

The geometric shape of the newly installed pavement shall have a 3% slope from the edge of the existing pavement to the new curb line or proposed edge of pavement and shall conform to proper design as approved by the County Engineer.

Inspection

YOU ARE TO NOTIFY THE BERGEN COUNTY INSPECTOR (201) 336-6815, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AFFECTING COUNTY ROAD FACILITIES SO THAT THEY MAY HAVE AN INSPECTOR ON THE JOB DURING THE COURSE OF THE WORK.

If they are not so notified and the work is completed without their inspection, certification by the Project Engineer as to the specifications used in construction will be required. You will be charged for any testing required by the County to confirm compliance with County specifications. Non-compliance with these specifications may result in complete rejection of work completed and a delay in the release of any performance guarantee.

No work affecting County roads shall be done on Saturdays, or holidays without prior permission from the Bergen County Operations Division. Also, be advised that the opening of County roads for utility installations, whether these roads are bonded under this real estate development or not, will not be permitted during the period of November 15, inclusive in accordance with Sections 15 & 17 of the Application for Road Opening Permit.

Other

The County reserves the right to impose such traffic regulations and controls as may, from time to time be necessary to assure the efficient and safe movement of traffic on the County road.

Any revisions to work required in the County's right-of-way shall be submitted to the Department of Planning and Engineering for review and approval.

COUNTY OF BERGEN
SURVEY FORM FOR DRAINAGE STRUCTURES

Send this form and photographs to engineering@co.bergen.nj.us

print surveyor name & license #

survey firm & telephone number

municipality & block & lot

surveyor signature & date & seal

location address

grate elevation NAVD 88

type of drainage structure (inlet, manhole, outfall, etc.)

latitude (to 0.01 seconds)

pipe material, size, etc. & invert elevation NAVD 88

longitude (to 0.01 seconds)

pipe material, size, etc. & invert elevation NAVD 88

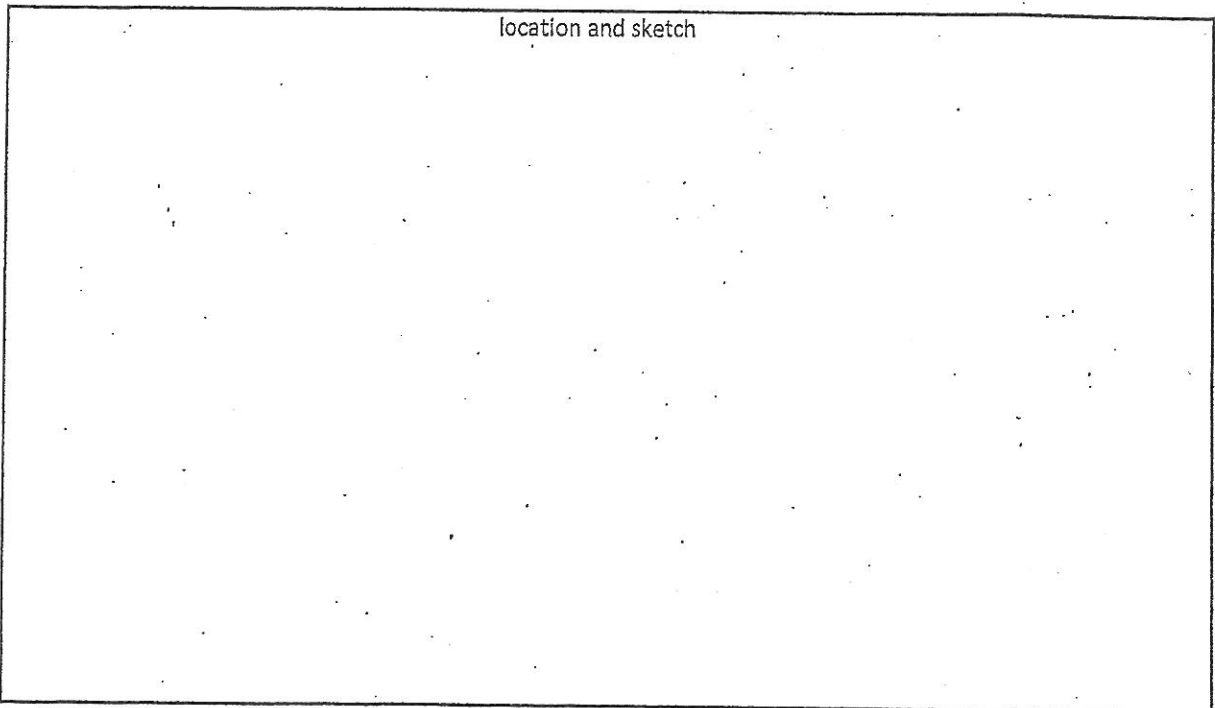
Site Plan (SP), Subdivision (SD) or County Job #

pipe material, size, etc. & invert elevation NAVD 88

date constructed

notes:

location and sketch



COUNTY OF BERGEN
SURVEY FORM FOR MONUMENTS

Send this form and photographs of monuments and witnesses to engineering@co.bergen.nj.us

print surveyor name & license #

survey firm & telephone number

municipality & block & lot

surveyor signature & date & seal

location address

elevation NAVD 88

monument inscription

latitude (to 0.01 seconds)

date set

date last recovered

longitude (to 0.01 seconds)

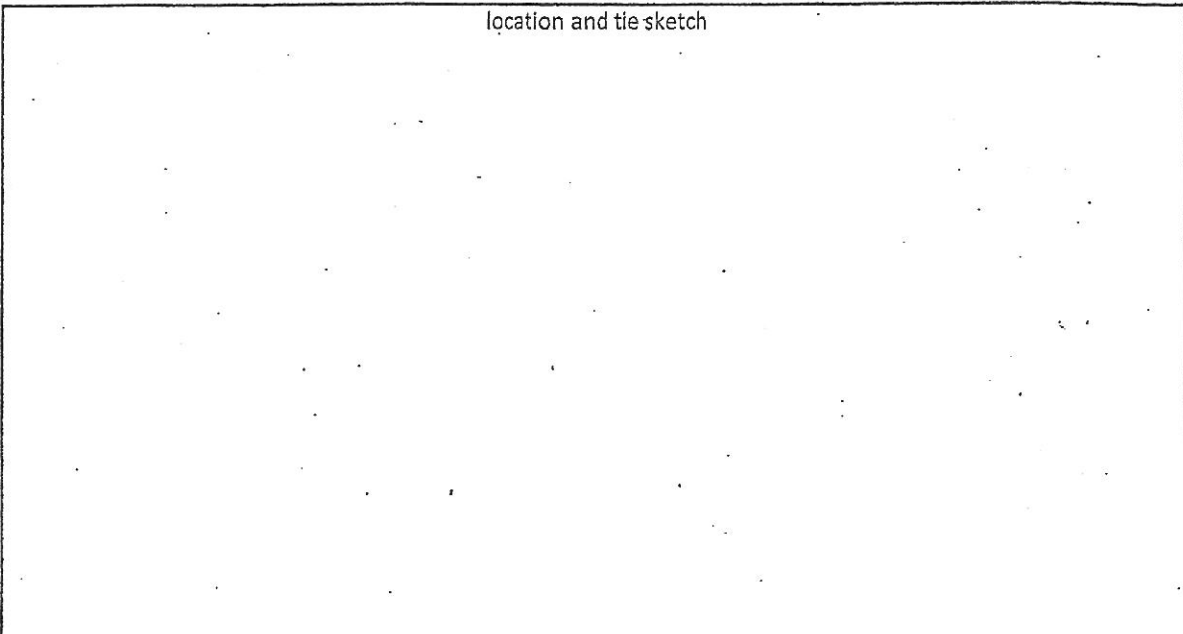
monument description including size & material

witness markers:

Site Plan (SP)#; Subdivision (SD) # or County Improvement Job #

remarks:

location and tie sketch



County of Bergen Department of Public Works
Procedures for Design & Construction of ADA Compliant Pedestrian
Facilities within County Right-of-Ways
Planning Board Approved Development Applications

Design:

- 1) Applicant's Design Engineer designs ADA improvements in accordance with:
Proposed Guidelines <http://www.access-board.gov/attachments/article/743/norm.pdf>
 - MUTCD
 - NJDOT Standard Specifications for Road & Bridge Construction
 - Bergen County requirements
- 2) Applicant's Design Engineer prepares detailed drawings in accordance with the level of detail required by Bergen County.
- 3) Applicant's Design Engineer submits the following to municipal engineer:
 - Signed & sealed drawings of compliant ramps.
 - Signed & sealed Compliant Design Certification (CDC).
- 4) Applicant's Design Engineer shall satisfactorily address any comments from the municipal engineer and resubmit for approval.

Municipal Engineer Approval:

- 5) Municipal Engineer reviews submission of design drawings and Compliant Design Certification for compliance with:
 - Design related documents in #1 above.
 - Municipal streetscape requirements.
 - Compliant Design Certification form.
- 6) Municipal Engineer shall either:
 - Approve documents as submitted if fully compliant, or
 - Return documents to Applicant's Engineer with comments, and/or
 - Advise Applicant's Engineer that a Technical Infeasibility Waiver is required.

Technical Infeasibility Waiver (TIW):

- 7) Applicant's Engineer shall submit a complete Technical Infeasibility Waiver (TIW) application to the Municipal Engineer when fully compliant ADA facilities cannot be designed and constructed.
- 8) Municipal Engineer shall review the TIW and either:
 - Deny the TIW application and require applicant to design compliant ADA facilities, or
 - Approve the TIW application and forward to the County Engineering

Division for approval or denial.

- 9) The County Engineering Division shall review the municipally approved TIW and either:
 - Deny the TIW application and require applicant to design compliant ADA facilities, or
 - Approve the TIW application.

County of Bergen Department of Public Works
Procedures for Design & Construction of ADA Compliant Pedestrian
Facilities within County Right-of-Ways
Planning Board Approved Development Applications

10) Applicant shall be responsible to redesign and build fully compliant ADA facilities if the TIW application is not approved by the Municipal Engineer and County Engineering Division.

Construction:

11) Applicant shall not proceed with the construction of ADA facilities within the County road right-of-way (ROW) until one of the following approvals have been obtained:

- Municipal Engineer's approval of design drawings for fully compliant ADA facilities and Compliant Design Certification, or
- Municipal Engineer's and County Engineering Division's approval of design drawings, CDC, and a TIW for non-compliant ADA facilities.

12) Applicant shall not deviate from the approved design of ADA facilities unless:

- The Municipal Engineer approves a revised submission of design drawings, by the Applicant's Engineer, for fully compliant ADA facilities and new CDC for the revision; or
- The Applicant obtains an approved TIW, through the process described above, for the revision.

The Applicant's Design Engineer is required to certify proper construction and should therefore perform site inspections before and during construction, and shall perform a site inspection after construction and prior to executing the Compliant Construction Certification (CCC).

Project Close-Out

13) The Applicant's Design Engineer shall submit the following to the Municipal Engineer:

- Signed and sealed as-built drawings.
- Signed and sealed Compliant Construction Certification (CCC) form.

14) The Municipal Engineer reviews as-built drawings, ADA facilities constructed at the site, and the CCC for compliance with:

- Approved design drawings.
- Approved Technical Infeasibility Waiver if applicable.

15) The Municipal Engineer shall:

- Approve documents as submitted if fully compliant; or
- Return documents to Applicant's Design Engineer with comments.
- Sign and seal CCC upon satisfaction of documents and construction.

16) Applicant shall submit the following to the County Engineering Division:

- Compliant Construction Certification signed and sealed by the Applicant's Design Engineer and Municipal Engineer.
- As-built drawings referenced in the CCC.

County of Bergen Department of Public Works
Procedures for Design & Construction of ADA Compliant Pedestrian
Facilities within County Right-of-Ways
Planning Board Approved Development Applications

General Comments:

Certificate of Occupancy shall not be granted until the Municipal Engineer has executed the CCC.

The Performance Guarantee release by the County is contingent upon, and subject to the following:

- Compliance with all conditions of the County Planning Board approved Joint Report.
- Required improvements have been properly constructed.
- As-built drawings and properly executed certifications have been received by the County Engineering Division.

Date: December 12, 2013

Americans with Disabilities Act Compliance

COMPLIANT DESIGN CERTIFICATION
For
PEDESTRIAN FACILITIES WITHIN COUNTY RIGHT-OF-WAYS

I, _____, (engineer's name) hereby certify, as a licensed Professional Engineer in the State of New Jersey, that all sidewalks, handicap ramps, and pedestrian facilities within the public right-of-way or easements, designed for County Planning Board Site Plan/ Subdivision Application # _____, entitled _____, in _____ (municipality) are designed in full compliance with the "Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way" located at <http://www.access-board.gov/attachments/article/743/nprm.pdf> as published in the Federal Register on July 26, 2011; the Manual on Uniform Traffic Control Devices (MUTCD); and Bergen County requirements. Workmanship and materials will be in substantial conformance with the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction as amended and supplemented by County of Bergen requirements. This certification applies to the following attached design drawings: _____

_____ (title, prepared by, original date, revision no. & date, and number of sheets). I further understand that improperly designed or constructed ramps and facilities, as determined by the County of Bergen, will require replacement with compliant ramps and facilities prior to performance guarantee release and at the sole cost and expense of the Site Plan/ Subdivision Applicant.

(Name/Title of Design Engineer)

(Signature of Design Engineer)

(Date)

(P. E. License Number)

(P. E. Seal)

As a licensed Professional Engineer in the State of New Jersey, I have reviewed the above referenced design certification and drawings, and verify their compliance with above stated documents and requirements.

(Name/Title of Municipal Engineer)

(Signature of Municipal Engineer)

(Date)

No Technical Infeasibility Waivers required.

Technical Infeasibility Waivers previously approved by the Municipal Engineer and County Engineering Division are attached.

(THIS CERTIFICATION MUST APPEAR ON MUNICIPAL OR COMPANY LETTERHEAD)

Americans with Disabilities Act Compliance

COMPLIANT CONSTRUCTION CERTIFICATION

For

PEDESTRIAN FACILITIES WITHIN COUNTY RIGHT-OF-WAYS

I, _____, (engineer's name) hereby certify, as a licensed Professional Engineer in the State of New Jersey, that I have inspected all sidewalks, handicap ramps, and pedestrian facilities within the public right-of-way or easements, constructed for County Planning Board Site Plan/ Subdivision Application # _____, entitled _____, in _____ (municipality) and the improvements have been constructed in full compliance with the "Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way" located at <http://www.access-board.gov/attachments/article/743/norm.pdf> as published in the Federal Register on July 26, 2011; the Manual on Uniform Traffic Control Devices (MUTCD); the project's previously certified design drawings; and Bergen County requirements. Workmanship and materials are in substantial conformance with the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction as amended and supplemented by County of Bergen requirements. This certification applies to the following attached as-built drawings: _____

_____, (title, prepared by, original date, revision no. & date, and number of sheets). I further understand that improperly designed or constructed ramps and facilities, as determined by the County of Bergen, will require replacement with compliant ramps and facilities prior to performance guarantee release and at the sole cost and expense of the Site Plan/ Subdivision Applicant.

 (Name/Title of Design Engineer)

 (Signature of Design Engineer)

 (Date) (P.E. License Number) (P. E. Seal)

As a licensed Professional Engineer in the State of New Jersey, I have inspected the sidewalks, ramps, and pedestrian facility improvements constructed for the above referenced project; reviewed the above referenced construction certification and drawings; and verified their compliance with above stated documents and requirements.

 (Name/Title of Municipal Engineer)

 (Signature of Municipal Engineer)

 (Date)

No Technical Infeasibility Waivers required.

Technical Infeasibility Waivers previously approved by the Municipal Engineer and County Engineering Division are attached.

(THIS CERTIFICATION MUST APPEAR ON MUNICIPAL OR COMPANY LETTERHEAD)