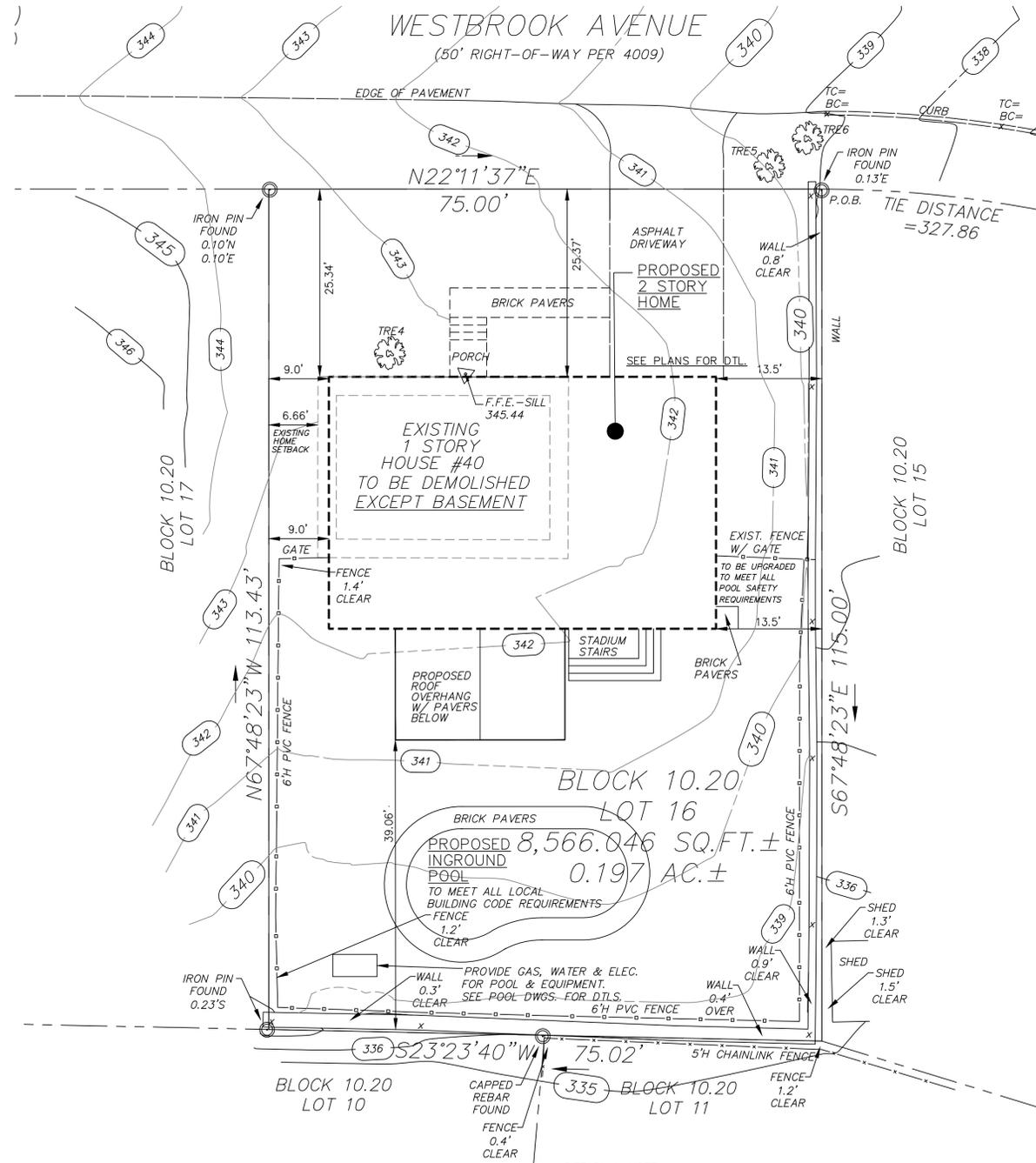


# RENOVATION TO: 40 WESTBROOK AVE MIDLAND PARK, NJ 07432

LIST OF DRAWINGS	
T-001	TITLE SHEET
T-002	SITE SURVEY, ZONING, & PLUMBING RISER
A-001	BASEMENT & 1ST FLOOR PLANS
A-002	2ND, ROOF PLAN & ROOF DETAILS
A-003	FRONT & LEFT SIDE ELEVATIONS
A-004	FRONT & RIGHT SIDE ELEVATIONS
A-005	SECTIONS & DETAILS
A-006	DOOR/MINDOW SCHEDULES & DETAILS
E-001	ELECTRICAL PLANS

GENERAL NOTES	GENERAL CONDITIONS	SITE WORK & CONCRETE (CONT'D)	THERMAL & MOISTURE PROTECTION	SPECIAL REMODELING NOTES	NJUCC REQUIREMENTS
G.1 ALL RIGHTS RESERVED DRAWINGS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF THE ARCHITECT COMMON LAW COPYRIGHT PROVISIONS. THEY ARE NOT TO BE REUSED EXCEPT AND ARE PROTECTED UNDER AGREEMENT IN WRITING AND WITH THE AGREED COMPENSATION TO THE ARCHITECT. IF REUSED WITHOUT PERMISSION, THE ARCHITECT SHALL BE INDEMNIFIED AND HELD HARMLESS FROM ALL LIABILITY, LEGAL EXPOSURE, CLAIMS, DAMAGES, LOSSES AND EXPENSES.	1.0 THE PLANS AND SPECIFICATIONS, TO THE BEST OF OUR KNOWLEDGE, COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE LOCAL BUILDING CODES. THESE SPECIFICATIONS ARE TO BE IMPLEMENTED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS. ALL ITEMS DESCRIBED HEREIN SHALL BE INCLUDED IN THE CONSTRUCTION CONTRACT. IN THE EVENT OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE DRAWINGS, THESE SPECIFICATIONS SHALL GOVERN.	2.4 ALL CONCRETE SHALL BE PLACED WITHIN 1 HOUR OF MIXING.	5.0 ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH FACED FIBERGLASS INSULATION WITH A MINIMUM "R" VALUE AS SHOWN ON DRAWINGS. FACE TOWARDS HEATED SPACE.	10.1 IN AREAS TO BE REMODELED OR ADDED TO, ABSOLUTE ACCURACY OF DIMENSIONS IS NOT INTENDED. DIMENSIONS SHOWN ARE FROM THE MOST ACCURATE AVAILABLE INFORMATION. DO NOT ORDER OR FABRICATE ANY ITEM UNTIL A SITE CHECK OF EXISTING CONDITIONS IS MADE. IT IS THE INTENT THAT NEW SURFACES CONTINUE FROM THE EXISTING IN AN ARCHITECTURALLY SOUND AND WORKMANLIKE MANNER AS POSSIBLE. REVIEW WITH THE OWNER ALL SPECIAL CONDITIONS EXPOSED DURING CONSTRUCTION WHICH REQUIRE RE-ALIGNMENT OF LOCATION OR METHODS OF INSTALLATION. THE OWNER WILL BE RESPONSIBLE FOR ALL FABRICATED & INSTALLED ITEMS.	CONSTRUCTION TYPE: 5B - UNPROTECTED
G.2 DRAWINGS SHALL NOT BE USED FOR ISSUANCE OF A BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT. DRAWINGS SHALL NOT BE USED FOR MULTIPLE OR PROTOTYPE DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT BOTH SIGNED AND SEALED.	1.1 THE FOLLOWING, UNLESS PROVIDED FOR IN THESE DRAWINGS, ARE TO BE FURNISHED BY THE OWNER:  A. SELECTION OF INTERIOR MATERIAL FINISHES, CABINETRY, AND HARDWARE.  B. DESIGN OF HEATING, PLUMBING, AND ELECTRICAL PLANS, AND COORDINATION OF THEM IN CONSTRUCTION, UNLESS SHOWN ON PLANS TO BE OTHERWISE.	2.5 ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.	5.1 PROVIDE EXTERIOR SIDING OF TYPE AND STYLE AS SHOWN ON THE DRAWINGS.	10.2 NOTIFY THE OWNER IF ANY STRUCTURAL MEMBERS ARE UNCOVERED DURING DEMOLITION.	USE GROUP: R-3
G.3 ARCHITECTS ADMINISTRATION OF THE CONSTRUCTION WORK BY MUTUAL CONSENT, IS NOT PART OF THIS AGREEMENT. THE OWNER AND/OR GENERAL CONTRACTOR SHALL APPOINT A PERSON TO BE IN CHARGE OF THE WORK PER "NJUCC 5.23-2.21 CONSTRUCTION CONTROL" EXECUTION.	1.2 ALL CONSTRUCTION MUST CONFORM AND BE EXECUTED IN A SOUND AND WORKMANLIKE MANNER WITH THE HIGHEST STANDARDS WITHIN THE INDUSTRY. CONTRACTOR AND SUBCONTRACTORS WARRANT THAT ALL MATERIALS USED TO COMPLETE THE WORK ARE MERCHANTABILITY, FREE FROM ANY PATENT OR LATENT DEFECT, FIT FOR THEIR INTENDED USE, AND EQUAL IN QUALITY TO THE BEST OF THEIR KIND.	2.6 ALL REINFORCING BARS SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED ADDITION BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS.	5.2 ROOFING SHINGLES SHALL BE TIMBERLINE ASPHALT IMPREGNATED ROOFING SHINGLES IN COLOR AND STYLE AS SELECTED BY OWNER.		OCCUPANCY LOAD: 13 PERSONS
G.4 THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWINGS OR FROM WRITTEN RECOMMENDATIONS. CHANGES TO THE PLANS BY THE OWNER AND/OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.	1.3 ALL CONSTRUCTION MUST CONFORM TO THE LATEST EDITION OF THE IBC ADOPTED BY THE STATE OF NEW JERSEY & THE F.H.A. MINIMUM PROPERTY STANDARDS. ALL ARE READILY AVAILABLE TO THE TRADES.	2.7 PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE 318, CHAPTER 6.4	5.3 PROVIDE ALUMINIUM OR SELF ADHERING FLASHING AT ALL VALLEYS AND INTERSECTION OF ROOF AND EXTERIOR WALLS AS INDICATED ON DRAWINGS.		LIVE LOAD: 40 PSF
G.5 THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING, BUT NOT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES; OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK; OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	1.4 THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE, LATEST EDITION AND ALL APPLICABLE FEDERAL CODES, STANDARDS, REGULATIONS AND LAWS.	<u>MASONRY</u>	5.4 PROVIDE MIN. 6-MIL VAPOR BARRIER UNDER ALL SLABS ON GRADE.		
G.6 EXAMINATION OF SITE, DRAWINGS, AND SPECIFICATIONS: THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE, DRAWINGS, AND SPECIFICATIONS, FULLY ACQUAINT AND FAMILIARIZE HIMSELF WITH THE CONDITIONS AS THEY EXIST AND MAKE SUCH INVESTIGATIONS AS HE MAY SEE FIT SO THAT HE SHALL FULLY UNDERSTAND THE FACILITIES, DIFFICULTIES, AND RESTRICTIONS PERTAINING TO THE WORK.	1.5 CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF NEW AND EXISTING CONSTRUCTION AND ADVISE OWNER OR ARCHITECT OF ANY DISCREPANCIES.	3.0 LAY UP ALL MASONRY UNITS IN A RUNNING BOND AND IN A FULL BED OF MORTAR.		<u>LOADING SCHEDULE</u>	
G.7 PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS, INSPECTIONS, ETC.	1.6 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.	3.1 CONSTRUCT FOUNDATION WALLS OF CONCRETE BLOCKS WITH BOTTOM COURSE FILLED WITH CONCRETE AND KEYS TO FOOTING BELOW AND SOLID THROUGHOUT. NO CINDER TYPE MASONRY BLOCK UNITS SHALL BE ACCEPTED. ALL CONCRETE BLOCK MASONRY WALLS SHALL BE HORIZONTALLY REINFORCED WITH DURO-WAL AT EVERY SECOND COURSE. SEE CONSTRUCTION DETAILS FOR REBAR SPECIFICS.	<u>DOORS &amp; WINDOWS</u>	FLOOR: LIVE LOAD 40 PSF DEAD LOAD 20 PSF ----- TOTAL LOAD 60 PSF	
G.8 ALL WORK, MATERIALS, AND EQUIPMENT SHALL MEET THE LATEST REQUIREMENTS OF ALL APPLICABLE STATE & LOCAL BUILDING CODES, REGULATIONS, THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS. WHERE APPLICABLE, COMPLY WITH ALL REQUIREMENTS OF THE N.J.U.C.C. BARRIER FREE SUBCODE AND/OR THE AMERICANS WITH DISABILITIES ACT (ADA).	1.7 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.	3.2 INSTALL PRECAST STONE UNITS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. FINAL STONE SELECTION BY OWNER.	6.0 SEE DOOR SCHEDULE FOR DOOR TYPES.	CEILING: LIVE LOAD 20 PSF DEAD LOAD 10 PSF ----- TOTAL LOAD 30 PSF	
G.9 EXCEPT WHERE SPECIFIED REQUIREMENTS ARE MORE STRINGENT, INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND THE STANDARDS OF RECOGNIZED AGENCIES AND ASSOCIATIONS. PROVIDE ALL ANCHORS, FASTENERS, AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALLOW FOR THERMAL EXPANSION/CONTRACTION AND BUILDING MOVEMENT. SEPARATE MATERIALS WITH SUITABLE MATERIALS OR SPACING. PREVENT CATHODIC CORROSION. PROTECT ALUMINUM SURFACES FROM CONTACT WITH MASONRY OR OTHER METALS. PROVIDE CONTROL JOINTS AT MATERIALS AND ISOLATION JOINTS BETWEEN MATERIALS/STRUCTURE AS INDICATED AND AS REQUIRED BY MANUFACTURER OR RECOGNIZED INDUSTRY STANDARDS.	1.8 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE OFF DRAWINGS. ADDRESS ALL QUESTIONS TO OWNER AND/OR ARCHITECT.	<u>WOOD FRAMING</u>	6.1 ALL EXTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS IN STYLE AS SELECTED BY OWNER.	ROOF: LIVE LOAD 30 PSF DEAD LOAD 10 PSF ----- TOTAL LOAD 40 PSF	
G.10 INSTALL PRODUCTS UNDER APPROPRIATE ENVIRONMENTAL CONDITIONS (AIR TEMPERATURE, SURFACE TEMPERATURE, RELATIVE HUMIDITY, ETC.) TO INSURE QUALITY AND DURABILITY. MAINTAIN PROPER PROTECTION DURING DRYING/CURING.	1.9 WORK NOT INDICATED ON PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN ON CORRESPONDING PLACES SHALL BE REPEATED.	4.1 ALL LUMBER AND ITS FASTENING SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION RECOMMENDED BY THE N.L.M.A. AND CODE STANDARDS LISTED UNDER GENERAL CONDITIONS.	6.2 ALL SWINGING GLASS DOORS SHALL BE INSULATED DOUBLE PANE GLASS WITH THERMAL BREAK IN FRAME.		
G.11 THE CONTRACTOR SHALL, WITHOUT DELAY AND PRIOR TO FABRICATION OR INSTALLATION OF THE ATTENTION OF THE ARCHITECT, ANY DISCREPANCIES BETWEEN THE MANUFACTURER'S REQUIRED SPECIFICATIONS OR RECOMMENDATIONS, APPLICABLE CODE PROVISIONS, AND THE CONTRACT DOCUMENTS. UNAUTHORIZED CHANGES TO THE PLANS BY THE OWNER AND CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.	1.10 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.	4.2 ALL FRAMING LUMBER EXCEPT AS NOTED IN THE FRAMING PLAN SHALL BE A COAST REGION DOUGLAS FIR "CONSTRUCTION GRADE: WITH A MIN. FIBER STRESS RATING AT 1200 PSI.	6.3 PROVIDE STANDARD BUILDERS HARDWARE FOR ALL NEW DOORS. STYLE AND FINISH OF HARDWARE AS SELECTED BY OWNER.		
G.12 SUBSTITUTIONS: SUBMISSION OF A SUBSTITUTION REQUEST BY THE CONTRACTOR (WHERE PERMITTED IN THE CONTRACT DOCUMENTS) SHALL CONSTITUTE A REPRESENTATION BY THE CONTRACTOR THAT HE HAS INVESTIGATED THE PROPOSED PRODUCT OR CONDITION AND DETERMINED THAT IT IS EQUAL TO OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION AND DETERMINED THAT IT IS EQUAL TO OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION (INCLUDING WARRANTY COVERAGE) AND THAT HE WILL COORDINATE THE INSTALLATION AND MAKE OTHER CHANGES (INCLUDING MODIFICATION AND COORDINATION OF OTHER WORK AFFECTED BY THE CHANGE) WHICH MAY BE REQUIRED FOR THEIR WORK TO BE COMPLETE IN ALL ASPECTS.	1.11 IF ANY CASE OF CONFLICT BETWEEN THE NOTES OR SPECIFICATIONS AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.	4.3 ALL EXTERIOR SHEATHING AND SUB-FLOORING SHALL BE OF EXTERIOR GRADE PLYSCORE TYPE C-D DOUGLAS FIR PLYWOOD, OR EXTERIOR GRADE OSB.	6.4 EXISTING DOOR FRAMES ARE BUILT IN METAL DOOR FRAMES. DEMOLITION AND REPLACEMENTS SHOULD BE CAREFULLY PLANNED.		
G.13 CUTTING & PATCHING: INCLUDE ALL CUTTING AND PATCHING FOR PENETRATIONS THROUGH FLOORS, WALLS CEILINGS AND ROOFS. DO NOT CUT OR NOTCH ANY STRUCTURAL MEMBER TO REDUCE ITS LOAD CARRYING CAPACITY.	1.12 ANY DAMAGE TO THE EXISTING FACILITIES DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITIES TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE.  FOR OPENINGS 2' TO 3' USE 2-2"x6" FOR OPENINGS 3' TO 5' USE 2-2"x8" FOR OPENINGS 5' TO 7' USE 2-2"x10" FOR OPENINGS 7' TO 8' USE 2-2"x12" FOR OPENINGS GREATER THAN 8' CONTACT ARCHITECT FOR SIZE.	4.4 SET ALL FLOOR JOISTS, CEILING JOIST, AND WOOD BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED OVER BEARING POINTS SHALL BE SECURELY SPIKED TOGETHER. FIRE CUT ENDS BEARING ON MASONRY. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL.	6.5 PROVIDE FACTORY INSTALLED JAMB EXTENSIONS AS REQUIRED.		
G.14 UNFORESEEN CONDITIONS: SHOULD UNFORESEEN CONDITIONS BE ENCOUNTERED THAT AFFECT DESIGN OR FUNCTION OF THE PROJECT, CONTRACTOR SHALL INVESTIGATE FULLY AND SUBMIT AN ACCURATE, DETAILED REPORT TO THE ARCHITECT WITHOUT DELAY. WHILE AWAITING A RESPONSE, CONTRACTOR SHALL RESCHEDULE OPERATIONS AS REQUIRED TO AVOID DELAY OF OVERALL PROJECT.	1.13 CONTRACTOR SHALL MAINTAIN SITE, CLEAN AND FREE OF DEBRIS. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE DAILY OR PLACE INTO ADEQUATE CONTAINER	4.5 PROVIDE STANDARD WOOD OR METAL CROSS BRIDGING WITHIN ALL FLOOR WOOD JOIST CONSTRUCTION AT A MAXIMUM 8 FEET ON CENTER, AND SOLID CONTINUOUS BLOCKING AT JOIST ENDS.			
G.15 PROVIDE TEMPORARY FACILITIES, SERVICES UTILITIES, AND PROTECTION AS REQUIRED TO SAFELY EXECUTE ALL WORK. PROTECT ADJACENT CONSTRUCTION AND INHABITANTS. COMPLY WITH ALL APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO, PUBLIC UTILITIES. PROVIDE 24 HOUR NOTIFICATION OF ANY DISCONTINUITY IN UTILITY SERVICES WITH THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND LEGALLY DISPOSE OF ALL MATERIAL FROM THE JOB SITE.	1.14 CONTRACTOR SHALL INCLUDE ALL DEMOLITION, REMOVAL OR RELOCATION OF EXISTING EQUIPMENT, MATERIALS, APPURTENANCES, ETC. AS INDICATED ON THE DRAWINGS OR AS HEREIN SPECIFIED OR REQUIRED. WHERE PIPING, DUCTS, CONDUIITS, AND WIRE, LIGHTING FIXTURES ARE REMOVED OR BROKEN, PROVIDE THE REQUIRED RELOCATION, RECONSTRUCTION OR REPLACEMENT TO RESTORE TO SERVICE ALL ITEMS NOT MADE ABSOLUTE BY THE WORK.	4.6 ANCHOR SILLS AND PLATES TO MASONRY WALLS BELOW WITH A MINIMUM OF 1/2 INCH DIAMETER X 18-INCH LONG STEEL HOOKED BOLTS, SPACED AT A MAXIMUM OF 6 FEET ON CENTER. BOLTS SHALL BE SET IN SOLID CONCRETE.	<u>FINISHES</u>		
	1.15 CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF NEW AND EXISTING CONSTRUCTION AND ADVISE OWNER OR ARCHITECT OF ANY DISCREPANCIES.	4.7 PROVIDE HEADERS FOR OPENINGS IN FRAME WALLS AS FOLLOWS:  FOR OPENINGS 2' TO 3' USE 2-2"x6" FOR OPENINGS 3' TO 5' USE 2-2"x8" FOR OPENINGS 5' TO 7' USE 2-2"x10" FOR OPENINGS 7' TO 8' USE 2-2"x12" FOR OPENINGS GREATER THAN 8' CONTACT ARCHITECT FOR SIZE.	7.0 ALL FIRE CODE GYPSUM BOARD SHALL BE 1/2" THICK STANDARD WALL BOARD UNLESS OTHERWISE NOTED AND 5/8" THICK IN THE GARAGE.		
	1.16 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.	4.8 SPIKE TOGETHER BEAMS WITH CONTINUOUS SPACERS BETWEEN 2" BY (X) AND FOR OPENINGS 8 FEET IN LENGTH AND OVER. PROVIDE DOUBLE STUDS UNDER BOTH BEARING ENDS.	7.1 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.17 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.	4.9 ALL DRILLING IN FLOOR JOISTS AND WOOD BEAMS FOR ELECTRICAL WIRES, PLUMBING LINES, ETC. SHALL BE MADE AT ITS CENTER LINE (NEUTRAL AXIS) OR ABOVE IT. IF ANY WOOD MEMBER SHOULD BE DRILLED BELOW NEUTRAL AXIS, CARE MUST BE TAKEN NOT TO ENDANGER ITS STRUCTURAL INTEGRITY. IF, HOWEVER, ANY DAMAGE TO SUCH STRUCTURAL MEMBER SHOULD OCCUR, IT MUST BE PROPERLY REINFORCED WITH ADDITIONAL WOOD MEMBER AS NECESSARY.	7.2 ALL GYPSUM BOARD SHALL BE TAPED AND SPACKLED, MINIMUM OF THREE COATS. PRIMED AND PAINTED TWO COATS OF WATER BASED PAINT. COLORS AS SELECTED BY OWNER. SHEENS: EGGSHELL=WALLS, FLAT = CEILINGS, SEMI-GLOSS = TRIM		
	1.18 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE OFF DRAWINGS. ADDRESS ALL QUESTIONS TO OWNER AND/OR ARCHITECT.	4.10 ALL STRUCTURAL WOOD MEMBERS EXPOSED TO WEATHER AND IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED WOLMANIZED LUMBER WITH GALVANIZED FASTENERS.	7.3 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE OF COLOR AND STYLE AS SELECTED BY OWNER. DUROCK UNDERLAYMENT (FASTENED & LAID OVER THINSET)		
	1.19 WORK NOT INDICATED ON PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN ON CORRESPONDING PLACES SHALL BE REPEATED.	4.11 ALL EXPOSED GLUE LAMINATED BEAMS WHERE SHOWN ON PLANS SHALL BE ARCHITECTURAL GRADE.	7.4 FLOORS OF ALL BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.20 ANY DAMAGE TO THE EXISTING FACILITIES DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITIES TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE.  FOR OPENINGS 2' TO 3' USE 2-2"x6" FOR OPENINGS 3' TO 5' USE 2-2"x8" FOR OPENINGS 5' TO 7' USE 2-2"x10" FOR OPENINGS 7' TO 8' USE 2-2"x12" FOR OPENINGS GREATER THAN 8' CONTACT ARCHITECT FOR SIZE.	4.12 PROVIDE HURRICANE CLIPS, STRAPS, AND ANY OTHER REINFORCEMENTS AS PER LOCAL BUILDING OFFICIAL'S REQUIREMENTS.	7.5 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES.		
	1.21 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.6 PROVIDE 120 V DUPLEX RECEPTACLE OUTLETS AS SHOWN ON PLANS AND AS DIRECTED BY OWNER.		
	1.22 ANY DAMAGE TO THE EXISTING FACILITIES DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITIES TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE.		7.7 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.23 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.8 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE OF COLOR AND STYLE AS SELECTED BY OWNER. DUROCK UNDERLAYMENT (FASTENED & LAID OVER THINSET)		
	1.24 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.9 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES.		
	1.25 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.10 ALL FIRE CODE GYPSUM BOARD SHALL BE 1/2" THICK STANDARD WALL BOARD UNLESS OTHERWISE NOTED AND 5/8" THICK IN THE GARAGE.		
	1.26 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.11 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.27 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.		7.12 ALL GYPSUM BOARD SHALL BE TAPED AND SPACKLED, MINIMUM OF THREE COATS. PRIMED AND PAINTED TWO COATS OF WATER BASED PAINT. COLORS AS SELECTED BY OWNER. SHEENS: EGGSHELL=WALLS, FLAT = CEILINGS, SEMI-GLOSS = TRIM		
	1.28 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE OFF DRAWINGS. ADDRESS ALL QUESTIONS TO OWNER AND/OR ARCHITECT.		7.13 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE OF COLOR AND STYLE AS SELECTED BY OWNER. DUROCK UNDERLAYMENT (FASTENED & LAID OVER THINSET)		
	1.29 WORK NOT INDICATED ON PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN ON CORRESPONDING PLACES SHALL BE REPEATED.		7.14 FLOORS OF ALL BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.30 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.		7.15 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.31 IF ANY CASE OF CONFLICT BETWEEN THE NOTES OR SPECIFICATIONS AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.		7.16 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.32 ANY DAMAGE TO THE EXISTING FACILITIES DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITIES TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE.  FOR OPENINGS 2' TO 3' USE 2-2"x6" FOR OPENINGS 3' TO 5' USE 2-2"x8" FOR OPENINGS 5' TO 7' USE 2-2"x10" FOR OPENINGS 7' TO 8' USE 2-2"x12" FOR OPENINGS GREATER THAN 8' CONTACT ARCHITECT FOR SIZE.		7.17 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.33 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.18 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.34 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.19 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.35 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.20 ALL FIRE CODE GYPSUM BOARD SHALL BE 1/2" THICK STANDARD WALL BOARD UNLESS OTHERWISE NOTED AND 5/8" THICK IN THE GARAGE.		
	1.36 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.21 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.37 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.		7.22 ALL GYPSUM BOARD SHALL BE TAPED AND SPACKLED, MINIMUM OF THREE COATS. PRIMED AND PAINTED TWO COATS OF WATER BASED PAINT. COLORS AS SELECTED BY OWNER. SHEENS: EGGSHELL=WALLS, FLAT = CEILINGS, SEMI-GLOSS = TRIM		
	1.38 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE OFF DRAWINGS. ADDRESS ALL QUESTIONS TO OWNER AND/OR ARCHITECT.		7.23 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE OF COLOR AND STYLE AS SELECTED BY OWNER. DUROCK UNDERLAYMENT (FASTENED & LAID OVER THINSET)		
	1.39 WORK NOT INDICATED ON PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN ON CORRESPONDING PLACES SHALL BE REPEATED.		7.24 FLOORS OF ALL BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.40 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.		7.25 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.41 IF ANY CASE OF CONFLICT BETWEEN THE NOTES OR SPECIFICATIONS AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.		7.26 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.42 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.27 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.43 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.28 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.44 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.29 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.45 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.30 ALL FIRE CODE GYPSUM BOARD SHALL BE 1/2" THICK STANDARD WALL BOARD UNLESS OTHERWISE NOTED AND 5/8" THICK IN THE GARAGE.		
	1.46 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.31 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.47 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.		7.32 ALL GYPSUM BOARD SHALL BE TAPED AND SPACKLED, MINIMUM OF THREE COATS. PRIMED AND PAINTED TWO COATS OF WATER BASED PAINT. COLORS AS SELECTED BY OWNER. SHEENS: EGGSHELL=WALLS, FLAT = CEILINGS, SEMI-GLOSS = TRIM		
	1.48 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE OFF DRAWINGS. ADDRESS ALL QUESTIONS TO OWNER AND/OR ARCHITECT.		7.33 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE OF COLOR AND STYLE AS SELECTED BY OWNER. DUROCK UNDERLAYMENT (FASTENED & LAID OVER THINSET)		
	1.49 WORK NOT INDICATED ON PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN ON CORRESPONDING PLACES SHALL BE REPEATED.		7.34 FLOORS OF ALL BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.50 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.		7.35 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.51 IF ANY CASE OF CONFLICT BETWEEN THE NOTES OR SPECIFICATIONS AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.		7.36 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.52 ANY DAMAGE TO THE EXISTING FACILITIES DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITIES TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE.  FOR OPENINGS 2' TO 3' USE 2-2"x6" FOR OPENINGS 3' TO 5' USE 2-2"x8" FOR OPENINGS 5' TO 7' USE 2-2"x10" FOR OPENINGS 7' TO 8' USE 2-2"x12" FOR OPENINGS GREATER THAN 8' CONTACT ARCHITECT FOR SIZE.		7.37 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.53 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.38 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.54 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.39 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.55 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.40 ALL FIRE CODE GYPSUM BOARD SHALL BE 1/2" THICK STANDARD WALL BOARD UNLESS OTHERWISE NOTED AND 5/8" THICK IN THE GARAGE.		
	1.56 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.41 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.57 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.		7.42 ALL GYPSUM BOARD SHALL BE TAPED AND SPACKLED, MINIMUM OF THREE COATS. PRIMED AND PAINTED TWO COATS OF WATER BASED PAINT. COLORS AS SELECTED BY OWNER. SHEENS: EGGSHELL=WALLS, FLAT = CEILINGS, SEMI-GLOSS = TRIM		
	1.58 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE OFF DRAWINGS. ADDRESS ALL QUESTIONS TO OWNER AND/OR ARCHITECT.		7.43 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE OF COLOR AND STYLE AS SELECTED BY OWNER. DUROCK UNDERLAYMENT (FASTENED & LAID OVER THINSET)		
	1.59 WORK NOT INDICATED ON PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN ON CORRESPONDING PLACES SHALL BE REPEATED.		7.44 FLOORS OF ALL BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.60 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.		7.45 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
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	1.63 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.48 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.64 CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT 1 1/2 TIMES THE COST OF CONSTRUCTION.		7.49 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTIVE WALL BOARDS. TAPED & SEALED DURO-ROCK W/ REDGUARD TO BE USED IN ALL SHOWER/TUB WALLS.		
	1.65 CONTRACTOR SHALL MAINTAIN LIABILITY INSUR				

BLOCK: 10.20		LOT: 16		ZONING REQUIREMENTS - (R-1 ZONE)	
ITEM	ALLOWED REQUIRED	EXISTING	PROPOSED	VARIANCE NEEDED	REMARKS
MINIMUM LOT AREA	12,500 SF.	8566 SF.	N.A.	NO	EXISTING NON-CONFORMING. TO REMAIN AS IS.
MINIMUM WIDTH	100 FT.	75 FT.	N.A.	NO	EXISTING NON-CONFORMING. TO REMAIN AS IS.
MINIMUM DEPTH	125 FT.	115 FT.	N.A.	NO	EXISTING NON-CONFORMING. TO REMAIN AS IS.
MINIMUM FRONT YD.	25 FT.	25.37 FT.	25.37 FT.	NO	EXISTING CONFORMING
MINIMUM REAR YD.	25 FT.	63.50 FT.	53.89 FT.	NO	PROPOSED CONFORMING.
MINIMUM SIDE YD.	12 FT.	15 FT.	EXIST.	NO	PROPOSED CONFORMING.
SUM OF BOTH SIDE YARDS	24 FT.	41.01 FT.	20 FT	YES	PROPOSED NON-CONFORMING.
MAXIMUM BUILDING HEIGHT.	30 FT.	17 FT.	30'-0"	NO	PROPOSED CONFORMING.
MAXIMUM BUILDING COVERAGE	30%	11.14% (978 SF)	22% (1870 SF)	NO	PROPOSED CONFORMING
MAXIMUM LOT COVERAGE	40%	15.24% (1306 SF)	39% (3377 SF)	NO	PROPOSED CONFORMING



**SITE PLAN NOTE:**  
 SITE PLAN BASED UPON OWNER PROVIDED SURVEY.  
 COMPLETED BY LANDMARK SURVEYS, LLC 51 BRIDGE STREET  
 METUCHEN N.J. 08840-2277 OFFICE (732) 548-8782  
 WWW.LMSPLS.COM

OTTO CRAIG ROSSMEYER - NJ P.L.S. #43214 DATED MAY 7, 2020  
 ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE  
 SURVEY ACCURACY NOR ANY OF ITS CONTENTS. OWNER TAKES FULL  
 RESPONSIBILITY FOR ANY AND ALL SURVEY RELATED ISSUES AND  
 CONTENTS. ORIGINAL SURVEY TO BE PROVIDED TO LOCAL OFFICIALS  
 UPON REQUEST.

1 PROPOSED PROPERTY SURVEY  
 SCALE: 1" = 10'-0"

HOME ARCHITECT STUDIO

"Creating Dream Homes; every day."

211 Paterson Ave., #1A  
 Midland Park, NJ 07432  
 Tel: (201) 632-5977

ZONING CALCULATIONS

Project Number: 2020-40  
 Property Address: 40 Westbrook Ave  
 Block: 10.2  
 Lot: 16  
 Total Lot Area: 8566 SF  
 Property Zone: R-1

**Permitted**

	Percentage	Square Footage
Building Coverage	30%	2569.8 SF
Improved Lot Coverage	40%	3426.4 SF

**Proposed**

**Building Coverage Calculations**

	Percentage	Square Footage
First floor area of Home	22%	1870 SF
Shed 1 (smaller) - Removed	0%	0 SF
Shed 2 (larger) - Removed	0%	0 SF
<b>Total Building Coverage</b>	<b>22%</b>	<b>1870 SF</b>

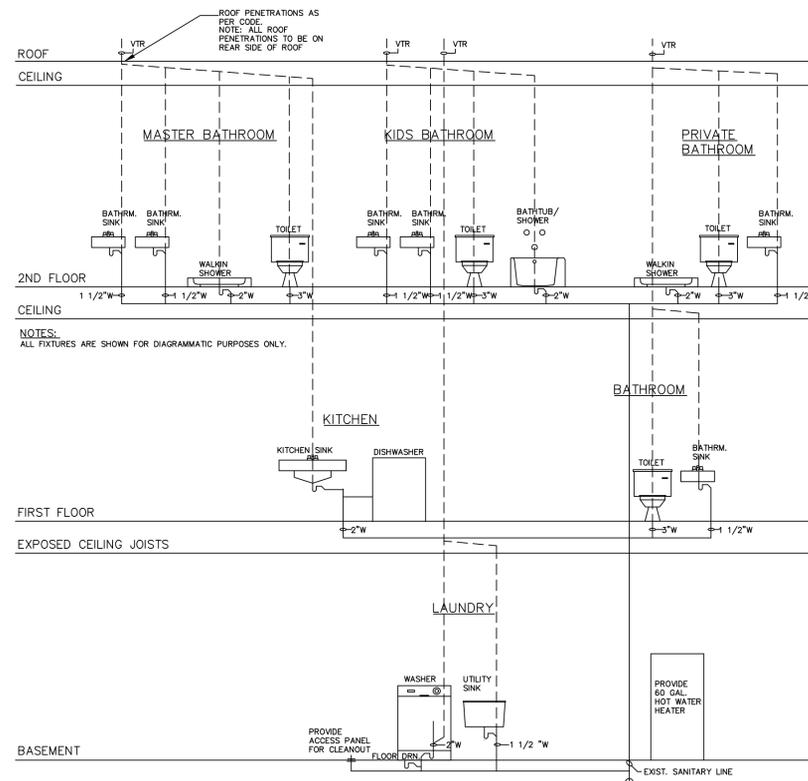
**Lot Coverage Calculations**

	Percentage	Square Footage
Footprint of Home	22%	1870 SF
Shed 1 (smaller) - Removed	0%	0 SF
Shed 2 (larger) - Removed	0%	0 SF
Pool w/ pavers around it	7%	616 SF
Brick pavers around sheds & counter - Removed	0%	0 SF
Counter - Removed	0%	0 SF
Open air pavillion	3%	288 SF
Stadium stairs	1%	80 SF
Side entrance brick pavers	0%	9 SF
Front walkway & stairs	1%	122 SF
Asphalt Driveway	5%	392 SF
<b>Total Building Coverage</b>	<b>39%</b>	<b>3377 SF</b>

Permitted

Permitted

Print Date: 3/5/2021



2 PLUMBING RISER DIAGRAM  
 SCALE: N.T.S.

PREPARED BY:  
**HOME ARCHITECT STUDIO LLC**  
 211 PATERSON AVE., SUITE #1A, MIDLAND PARK, NJ 07432  
 EMAIL: HELLO@HOMEARCHITECTSTUDIO.COM  
 TEL: 201.632.5977  
 WEB: HTTPS://HOMEARCHITECTSTUDIO.COM

*F. H. Klob*

NEW JERSEY REGISTERED ARCHITECT #21401798100

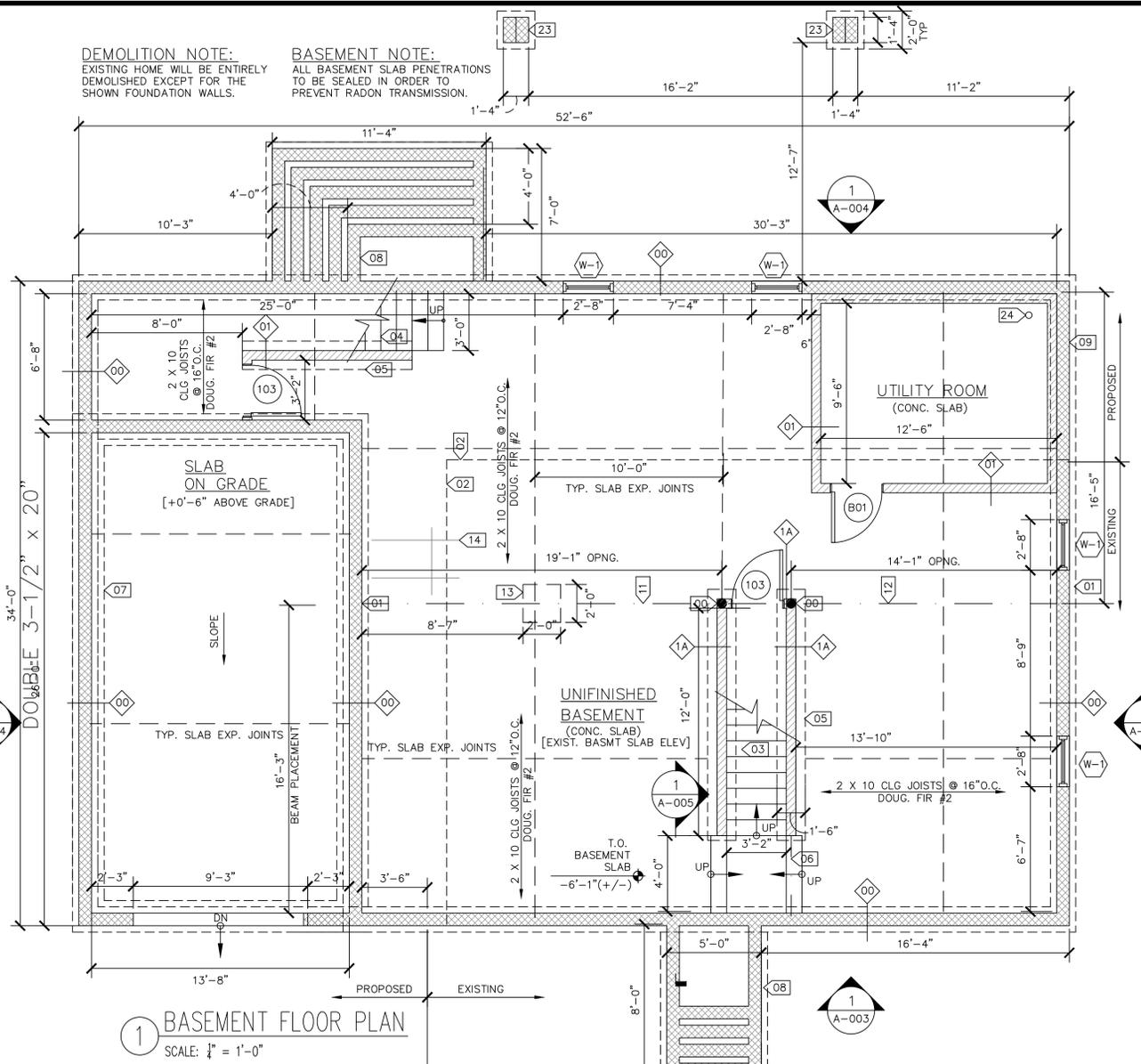
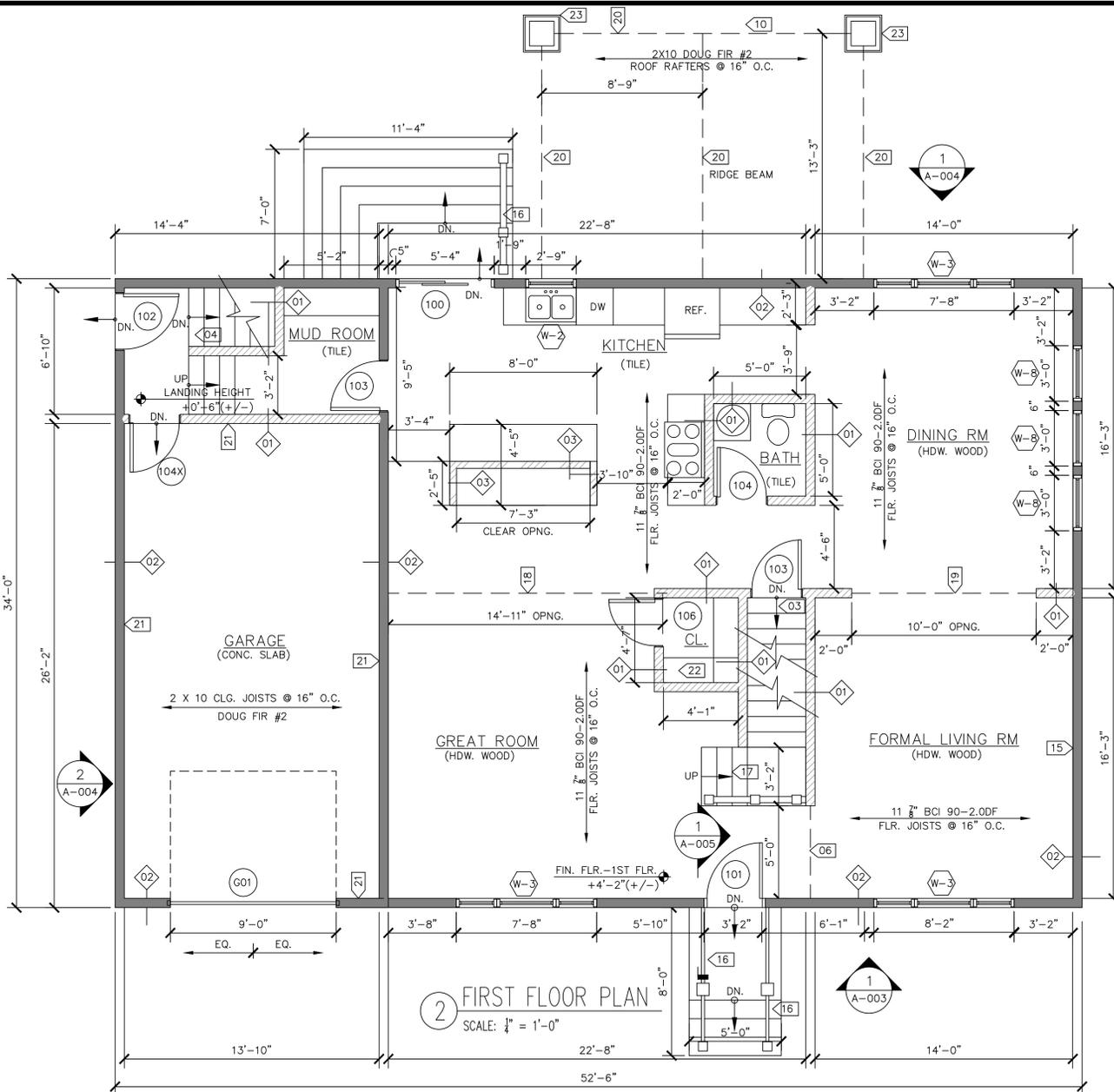
PROJECT:  
 RENOVATIONS TO:  
 HENRIQUES RESIDENCE  
 BLOCK: 10.2 LOT: 16  
 40 WESTBROOK AVE  
 MIDLAND PARK, NJ 07432

DRAWING TITLE:  
 SITE SURVEY  
 ZONING INFO  
 & PLMB RISER

drawn	check	AS NOTED
6/11/2021	2020-40	scale
issue date	project no.	

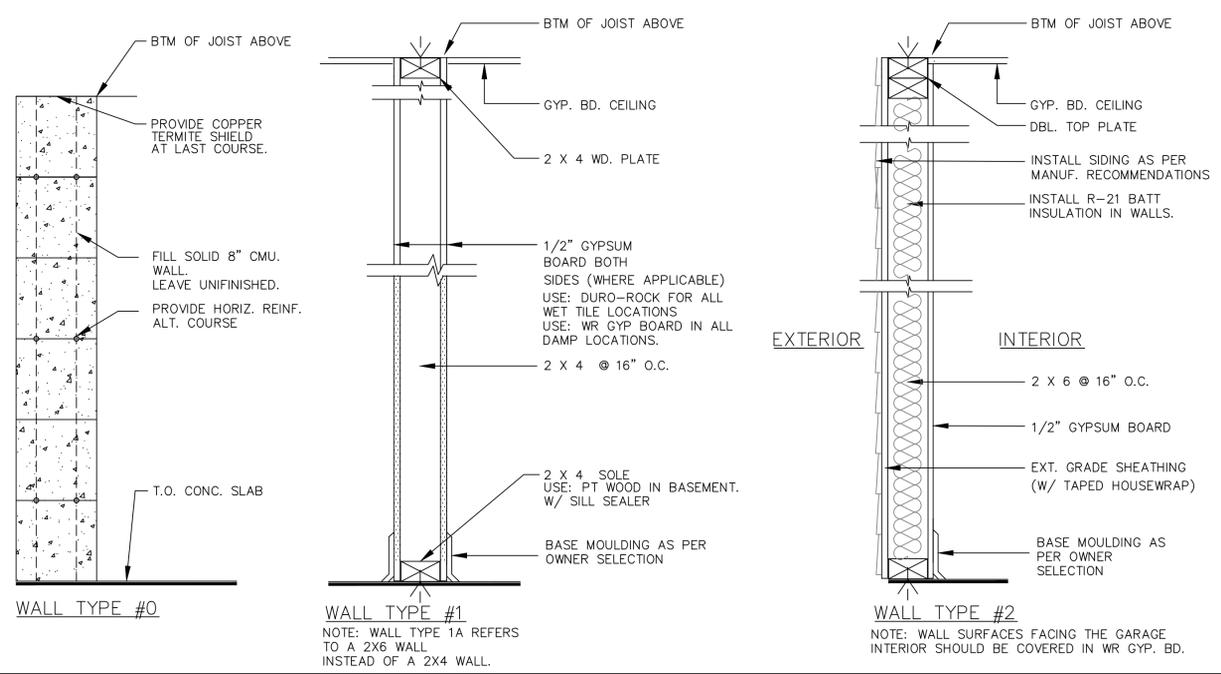
DRAWING NUMBER

T-002



**DEMOLITION NOTE:**  
EXISTING HOME WILL BE ENTIRELY DEMOLISHED EXCEPT FOR THE SHOWN FOUNDATION WALLS.

**BASEMENT NOTE:**  
ALL BASEMENT SLAB PENETRATIONS TO BE SEALED IN ORDER TO PREVENT RADON TRANSMISSION.



**PLAN NOTES**

- 00 PROVIDE STEEL CONC. FILLED LALLY COLUMN WITH INTERIOR FOOTING. SEE A/A-005
- 01 FOR WOOD BEAMS, PROVIDE ADEQUATE MOISTURE PROTECTION ON BEAM ENDS.
- 02 LINE OF EXISTING HOUSE FOUNDATION. TIE IN NEW SLAB W/ EXIST. SLAB. PIN REBAR (#4 @ 24" O.C.) INTO EXIST SLAB
- 03 PROVIDE CODE COMPLIANT OAK STAIRS W/ HANDRAILS FROM BASEMENT SLAB TO 1ST FLOOR (16 RISERS +/- 7" H, TREADS +/- 12")
- 04 PROVIDE CODE COMPLIANT OAK STAIRS W/ HANDRAILS FROM BASEMENT SLAB TO GARAGE LANDING (12 RISERS +/- 7" H, TREADS +/- 12")
- 05 PROVIDE INTERIOR WALL FOOTING AS PER DTL. #A/A-004
- 06 PROVIDE 2-2X12 HEADER ACROSS OPNG.
- 07 PROVIDE 12" CMU BLOCK BASE PER DTL. 4/A-005
- 08 PROVIDE SOLID BASE MASONRY STAIRS AS PER DETAIL B/A-005
- 09 PROVIDE 160K BTU DIRECT VENT FURNACE/BOILER TO SIDE OF HOUSE. FOLLOWING LOCAL CODE REQUIREMENTS. SEE D/A-005
- 10 PROVIDE POST & BRACE AS SHOWN ON ELEVATION 1/A-004
- 11 PROVIDE W 12 X 58 STEEL BEAM OR DOUBLE 2 3/4" X 20" VERSA-LAN LVL 21.E 3100SP. (PARTIAL DROP BEAM. SEE A/A-006)
- 12 PROVIDE W 10X19 STEEL BEAM OR DOUBLE 2 3/4" X 11 1/2" VERSA-LAN LVL 21.E 3100SP. (PARTIAL DROP BEAM. SEE A/A-006)
- 13 PROVIDE INTERIOR FOOTING AS PER DETAIL. A/A-005

- 14 PROVIDE #4 REBAR @ 24" O.C. SQUARE THROUGHOUT CONCRETE SLAB. MIN" 2" ABOVE BTM.
- 15 PROVIDE GAS & ELECTRIC CONNECTIONS FOR FUTURE FIREPLACE
- 16 PROVIDE CODE COMPLIANT FIBERON ARMOR-GUARD HANDRAILS. INSTALL PER MANUF. RECOMMENDATIONS.
- 17 PROVIDE CODE COMPLIANT OAK STAIRS W/ HANDRAILS FROM 1ST FLOOR TO 2ND FLOOR (15 RISERS +/- 7" H, TREADS +/- 12")
- 18 PROVIDE W12 X 26 STEEL BEAM OR 5 1/2" X 18" VERSA-LAN LVL 21.E 3100SP. (PARTIAL DROP BEAM. SEE A/A-005)
- 19 PROVIDE W10 X 19 STEEL BEAM OR 3 1/2" X 11 1/4" VERSALAM 21.E 3100SP. (PARTIAL DROP BEAM. SEE A/A-005)
- 20 PROVIDE 2-2 X 14 BEAM DOUG FIR #2 - PRESSURE TREATED. GLAD IN AZEK.
- 21 PROVIDE 3/4" FIRECODE X GYP. BOARD ON GARAGE INTERIOR. INSULATE ALL WALL & CEILING.
- 22 OWNER TO PROVIDE SHELVING & RODS AS REQUIRED.
- 23 FREESTANDING COLUMN. SEE 2/A-005 FOR MORE DETAILS.
- 24 PROVIDE 4" PVC PIPE FOR RADON. ROUTE PIPE ALONG EXTERIOR 12" ABOVE ROOF LINE. CAP W/ RADONAWAY.

**LEGEND**

XXX	DOOR TAG. REVIEW DOOR SCHEDULE - A-006
W-1	WINDOW TAG. REVIEW WINDOW SCHEDULE - A-006
##	WALL TYPE. SEE DWG #3-A-001 FOR INFO

PREPARED BY:  
**HOME ARCHITECT STUDIO LLC**  
211 PATERSON AVE. SUITE #1A, MIDLAND PARK, NJ 07432  
EMAIL: HELLO@HOMEARCHITECTSTUDIO.COM  
TEL: 201.632.5977  
WEB: HTTPS://HOMEARCHITECTSTUDIO.COM

NEW JERSEY REGISTERED ARCHITECT #21401789100

PROJECT:  
**RENOVATIONS TO:  
HENRIQUES RESIDENCE  
BLOCK:10.2 LOT:16**

40 WESTBROOK AVE  
MIDLAND PARK, NJ 07432

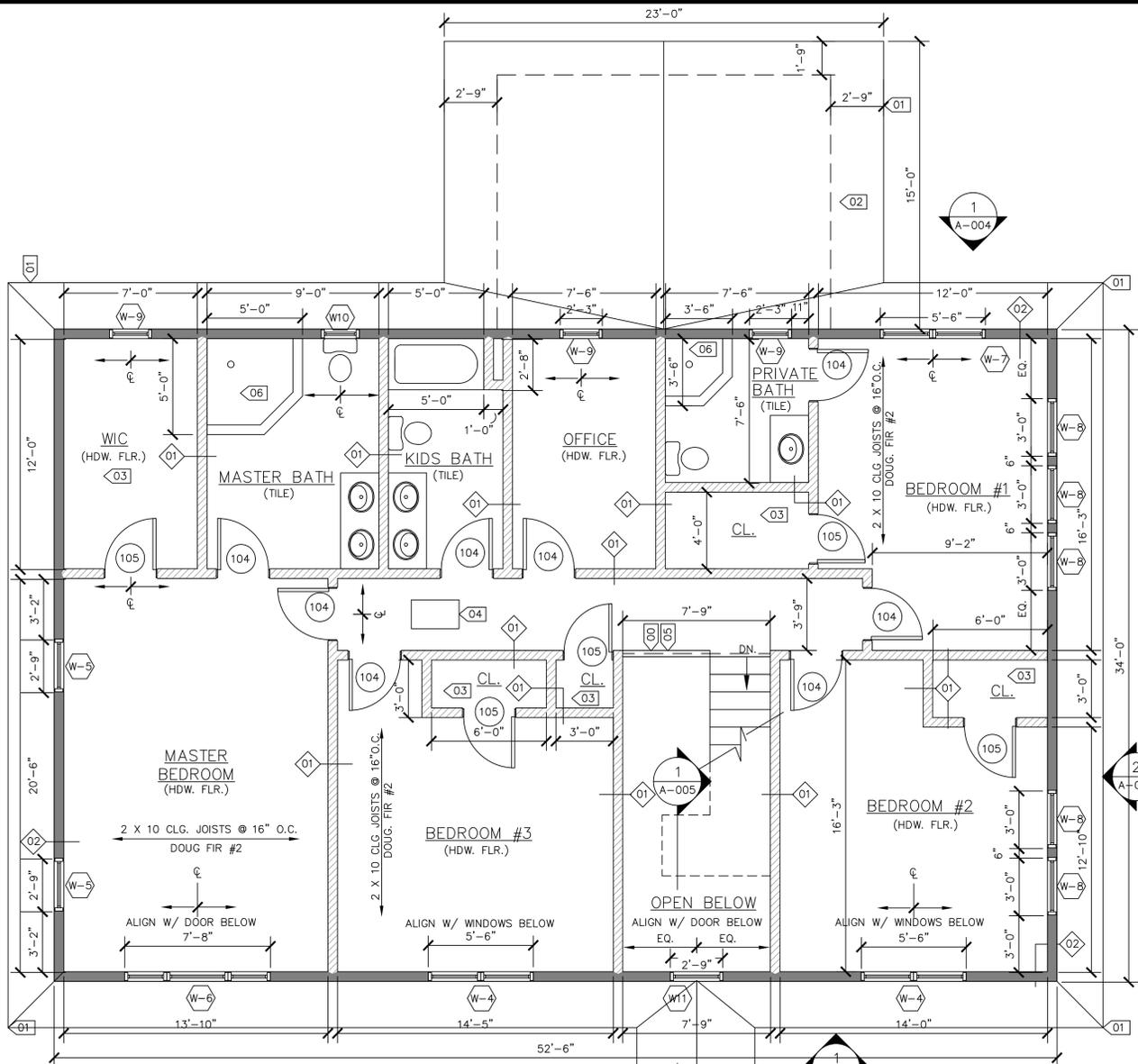
DRAWING TITLE:  
**FLOOR PLANS  
WALL TYPES  
& DETAILS**

drawn	FJK	AS NOTED
6/11/2021	check	scale
issue date		2020-40
		project no.

DRAWING NUMBER  
**A-001**

3 of 9

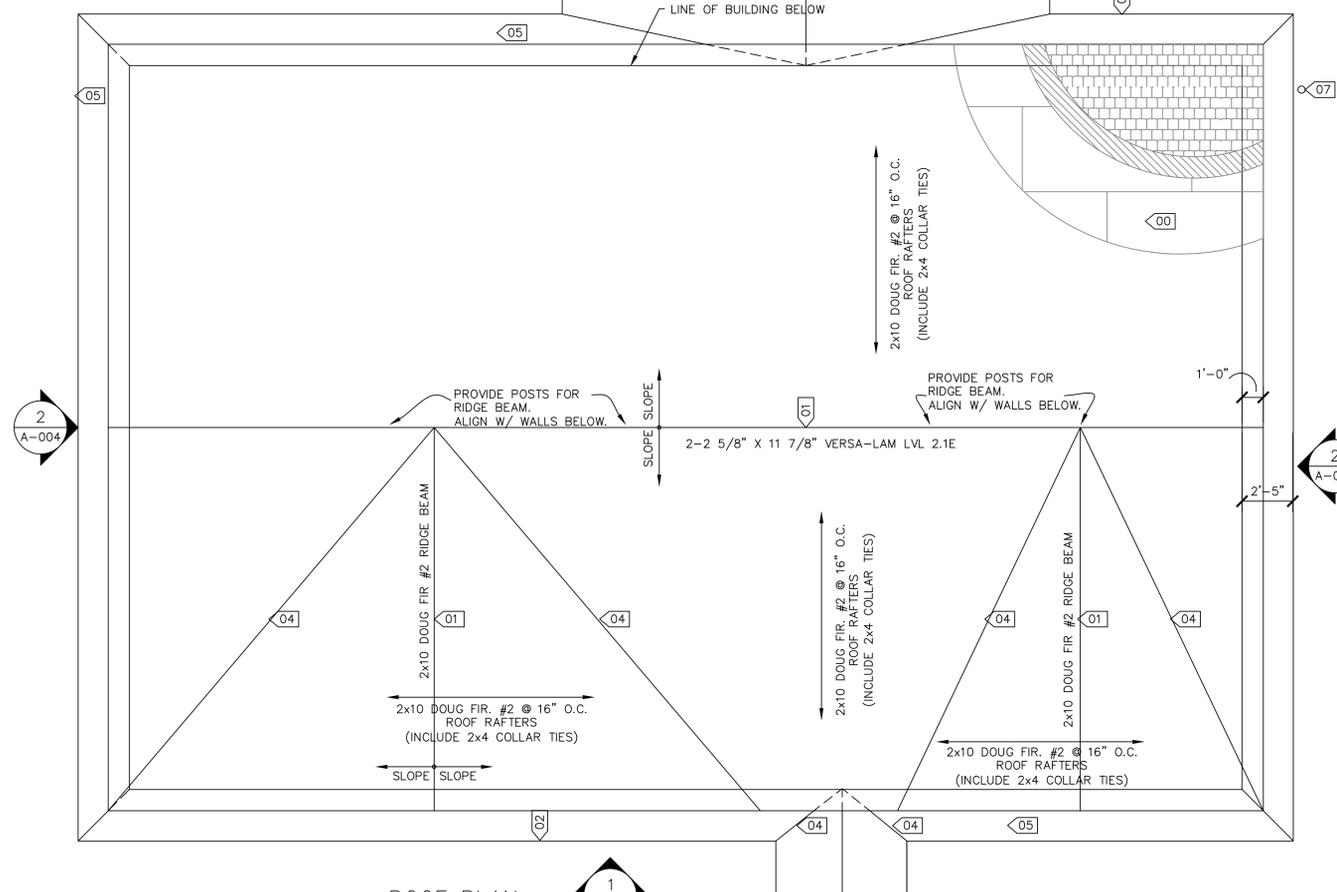
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2 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2ND FLOOR PLAN NOTES

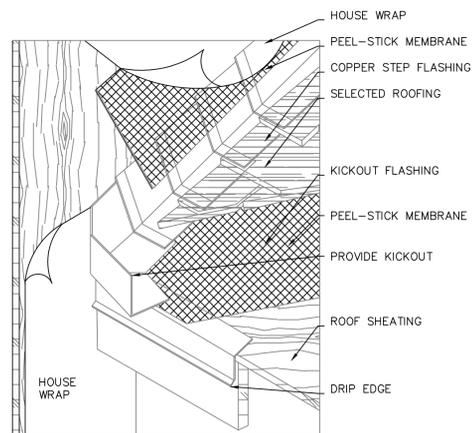
- 00 PROVIDE CODE COMPLIANT HANDRAILS FOR OPEN AREA.
- 01 ROOF LINE BELOW
- 02 LINE OF BUILDING BELOW
- 03 OWNER TO PROVIDE SHELVING & RODS AS REQUIRED.
- 04 PROVIDE PULL DOWN ATTIC STAIR. FRAME AS REQ'D.
- 05 PROVIDE 3 1/2" x 9 1/2" VERSALAM 1.8E (FLUSH BEAM. SEE A/A-006)
- 06 PROVIDE CUSTOM TILE SHOWER W/ TEMPERED GLASS DOORS. USE DITRA OR REDGUARD (2 COATS) WATERPROOFING



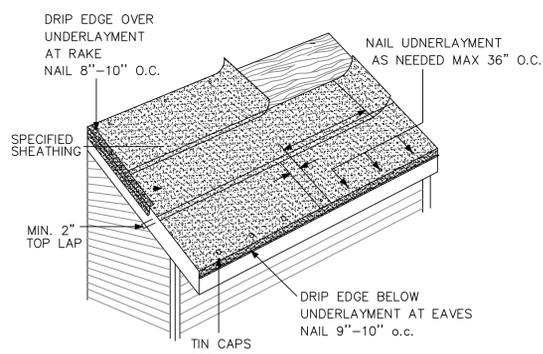
1 ROOF PLAN  
SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES

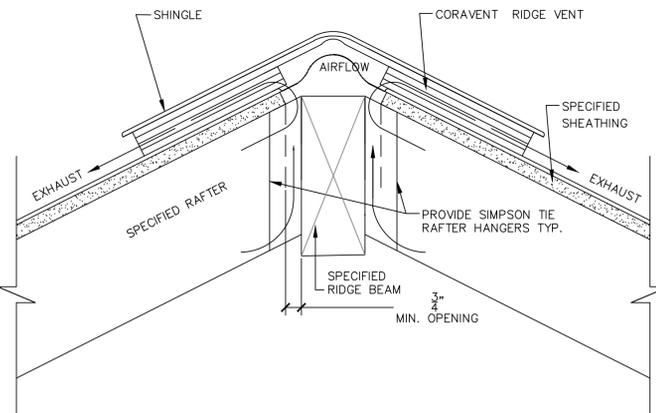
- 00 HUBER 1/2" ZIP SYSTEM ROOF SHEATHING OR 3/4" PLYWOOD SHEATHING W/ TWO LAYERS OF 30LB ROOFING PAPER (OR ICE SHIELD). TAPED & INSTALLED AS PER MANUFACTURER RECOMMENDATIONS (TYP. THROUGHOUT)
- 01 PROVIDE COR-A-VENT V-300 8" RIDGE VENT
- 02 PROVIDE 5" OCEE CUTTER (COLOR TBD) W/ DOWNSPOUTS AND ALL ACCESSORIES. CONNECT TO UNDERGROUND DRAINAGE SYSTEM.
- 03 PROVIDE TIMBERLINE HDZ SHINGLES (COLOR: TBD). INSTALL PER MANUF. REQUIREMENTS
- 04 PROVIDE VALLEY FLASHING AS PER DETAIL B/A-002
- 05 PROVIDE STANDING SEAM METAL ROOFING W/ SNOW GUARDS ABOVE ENTRANCES (COLOR: TBD). INSTALL PER MANUF. REQUIREMENTS
- 06 PROVIDE DRIP EDGE AS PER A/A-007
- 07 RADON PIPE EXTENSION W/ RADONAWAY CAP.



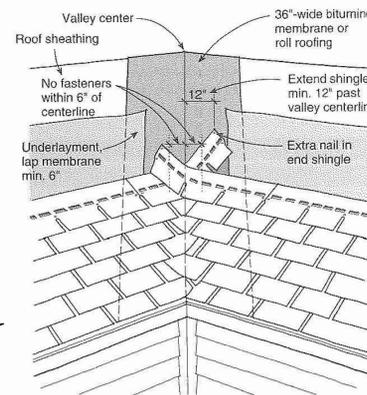
C ROOF/WALL FLASHING DETAIL  
SCALE: N.T.S.



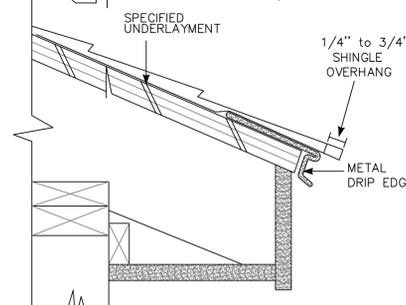
D TYP. ROOF UNDERLAYMENT DTL.  
SCALE: NTS NOTE: USE TWO LAYERS OF 30LB PAPER ON ROOF



C RIDGE VENT DTL  
SCALE: NTS



B TYP. WOVEN SHINGLE FLASHING DTL  
SCALE: NTS



A TYP. DRIP EDGE DTL.  
SCALE: NTS

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*F. K. K.*

NEW JERSEY REGISTERED ARCHITECT #21A01798100

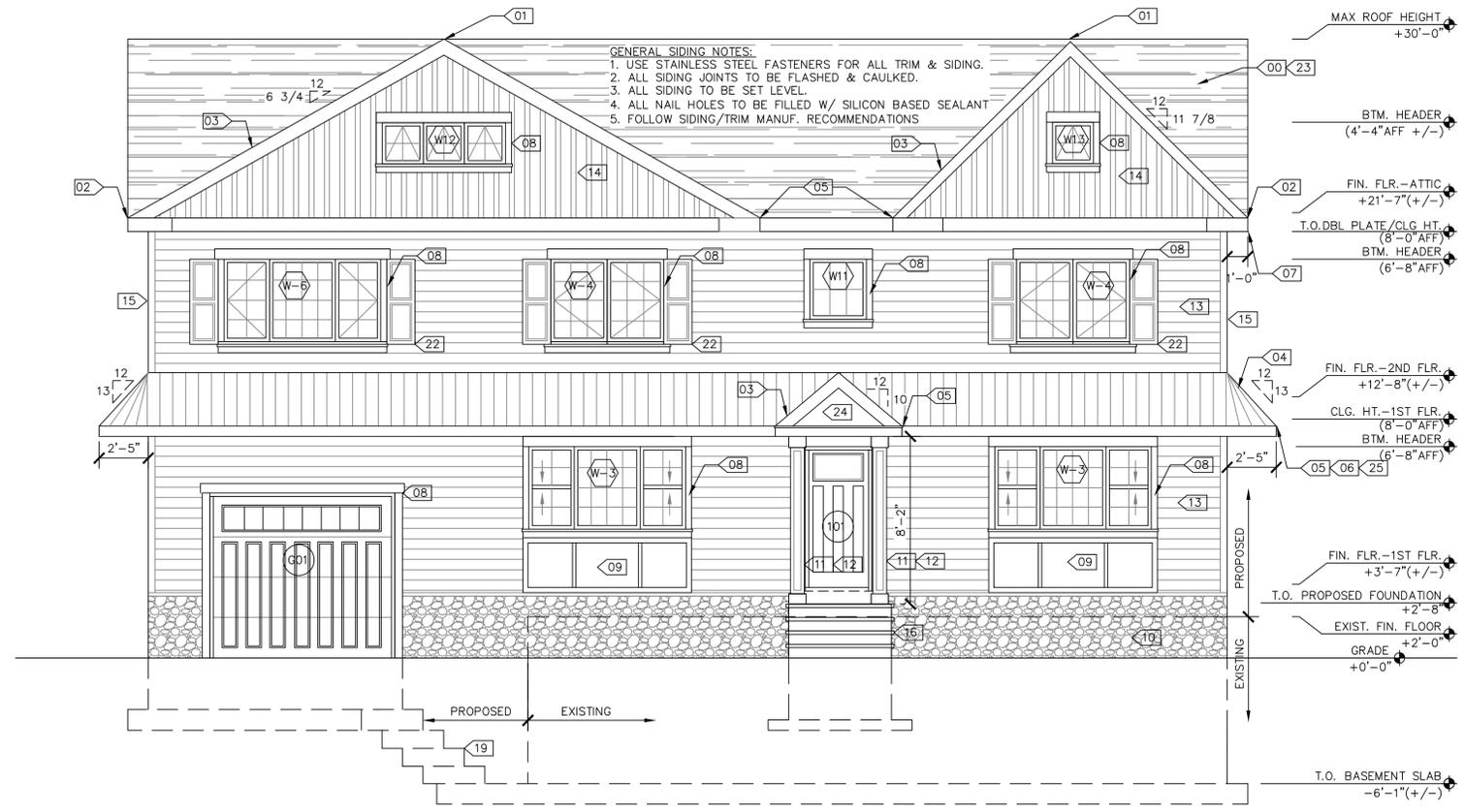
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BLOCK: 10.2 LOT: 16**  
40 WESTBROOK AVE  
MIDLAND PARK, NJ 07432

DRAWING TITLE:  
**2ND FLR PLAN,  
ROOF PLAN  
& DETAILS**

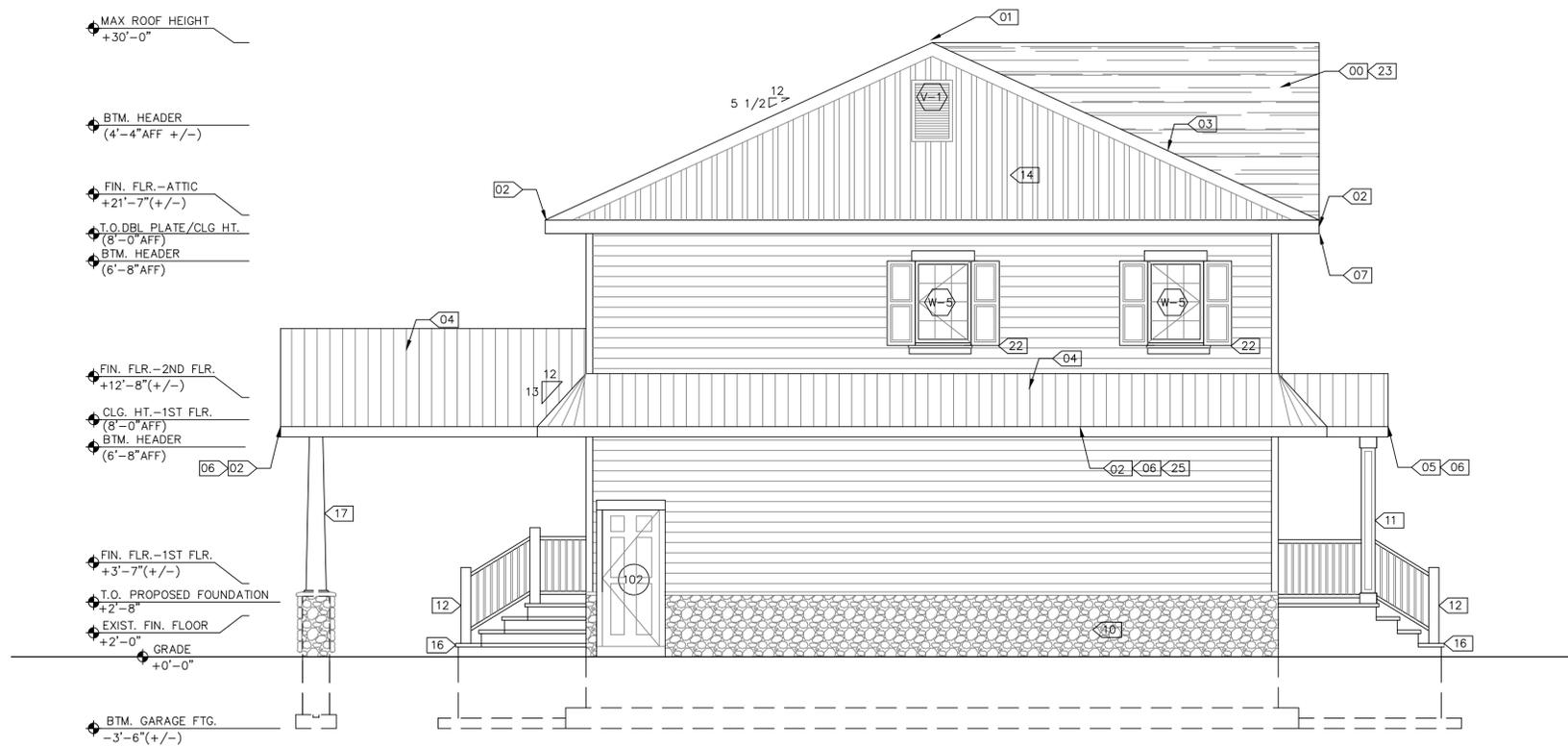
drawn	check	AS NOTED
6/11/2021		2020-40
issue date		project no.

DRAWING NUMBER

**A-002**



1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION (LEFT-FACING FRONT)  
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- 00 PROVIDE TIMBERLINE HDZ SHINGLES (COLOR: TBD). INSTALL PER MANUF. REQUIREMENTS
- 01 PROVIDE COR-A-VENT V-300 8 1/2" RIDGE VENT. PROVIDE 1" CLEARANCE FROM RIDGE MEMBER TO UNDERSIDE OF ROOF SHEATHING. TERMINATE ROOF SHEATHING FLUSH W/ SIDE FACE OF RIDGE (EACH SIDE).
- 02 PROVIDE 5" OGEE GUTTER (COLOR TBD) W/ DOWNSPOUTS AND ALL ACCESSORIES. CONNECT TO UNDERGROUND DRAINAGE SYSTEM.
- 03 PROVIDE VALLEY FLASHING AS PER DETAIL B/A-002
- 04 PROVIDE STANDING SEAM METAL ROOFING W/ SNOW GUARDS ABOVE ENTRANCES (COLOR: TBD). INSTALL PER MANUF. REQUIREMENTS
- 05 PROVIDE WHITE RAIN HANDLER. INSTALL PER MANUF. REQUIREMENTS
- 06 PROVIDE WHITE SOLID SOFFIT PANELS. INSTALL PER MANUF. REQUIREMENTS
- 07 PROVIDE WHITE VENTED SOFFIT PANELS. INSTALL PER MANUF. REQUIREMENTS
- 08 TYP. EXTERIOR WINDOW/DOOR TRIM -ALL TRIM IS TO BE AZEK BRAND -INSTALL AS PER MANUF. RECOMMENDATIONS -INCLUDE HEAD, JAMB, WINDOW SILL, AND APRON AS SHOWN -6" HEADER SIZE -3" JAMB SIZE -INCLUDE SILL PLATE W/ 3" APRON
- 09 PROVIDE AZEK TRIM BELOW 1ST FLOOR FRONT WINDOWS. INSTALL PER MANUF. RECOMMENDATIONS.
- 10 PROVIDE MANUFACTURED STONE VENEER W/ TOP CAP. INSTALL PER MANUF. RECOMMENDATIONS.
- 11 PROVIDE PT. 4X4 COLUMN W/ STANDOFF FOR PORTICO. WRAP COLUMNS W/ 8X8 PVC COLUMN WRAP. INSTALL PER MANUF. RECOMMENDATIONS.
- 12 PROVIDE CODE COMPLIANT FIBERON ARMOR-GUARD HANDRAILS. INSTALL PER MANUF. RECOMMENDATIONS.
- 13 PROVIDE JAMES HARDIE HARDIPANEL LAP SIDING. COLOR TBD. INSTALL PER MANUF. RECOMMENDATIONS.
- 14 PROVIDE JAMES HARDIE HARDIPANEL VERTICAL SIDING. COLOR TBD. INSTALL PER MANUF. RECOMMENDATIONS.
- 15 PROVIDE AZEK CORNER TRIM. INSTALL PER MANUF. RECOMMENDATIONS.
- 16 PROVIDE MASONRY STAIRS. SEE DETAIL 3/A-005.
- 17 PROVIDE DECORATIVE COLUMN. SEE DETAIL 2/A-005.
- 18 NOT USED.
- 19 STEP NEW FOOTINGS AS REQUIRED TO MEET EXISTING FOOTING ELEVATIONS.
- 20 PROVIDE 2-2 X 14 BEAM DOUG FIR #2 - PRESSURE TREATED. CLAD IN AZEK.
- 21 PROVIDE 2X6 POST & BRACE. PRESSURE TREATED. CLAD IN AZEK.
- 22 INSTALL SHUTTERS PER MANUF. RECOMMENDATIONS. COLOR: TBD
- 23 ALL PLUMBING PENETRATIONS TO BE PLACED ON THE REAR SIDE OF ROOF.
- 24 PROVIDE AZEK TRIM IN PORTICO. INSTALL PER MANUF. RECOMMENDATIONS.
- 25 PROVIDE APPLIED EAVE AS PER DETAIL 1/A-005

PREPARED BY:  
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*F. H. K. H.*

NEW JERSEY REGISTERED ARCHITECT #21A01798100

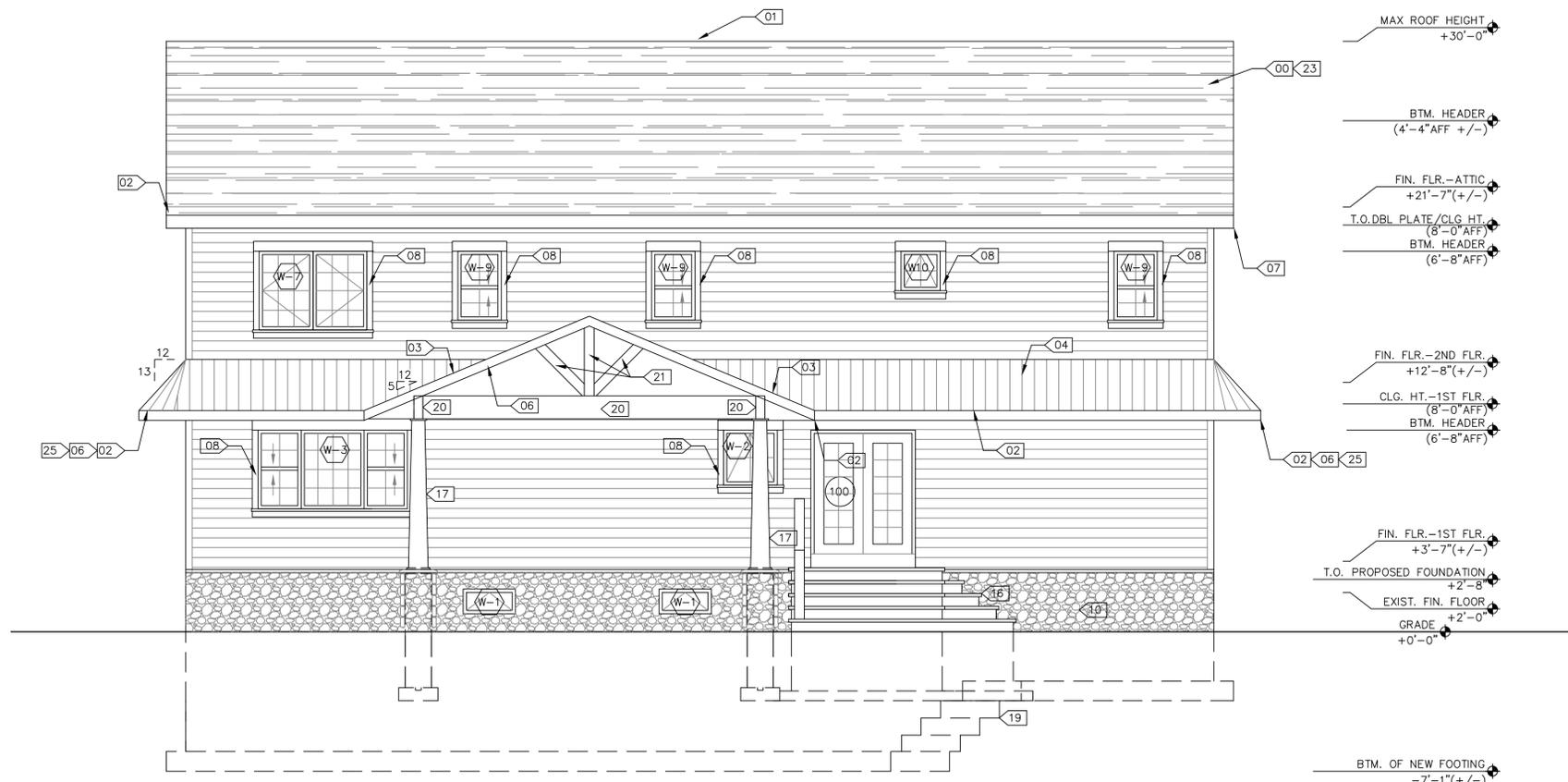
PROJECT:  
RENOVATIONS TO:  
HENRIQUES RESIDENCE  
BLOCK: 10.2 LOT: 16  
40 WESTBROOK AVE  
MIDLAND PARK, NJ 07432

DRAWING TITLE:  
ELEVATIONS  
FRONT &  
LEFT

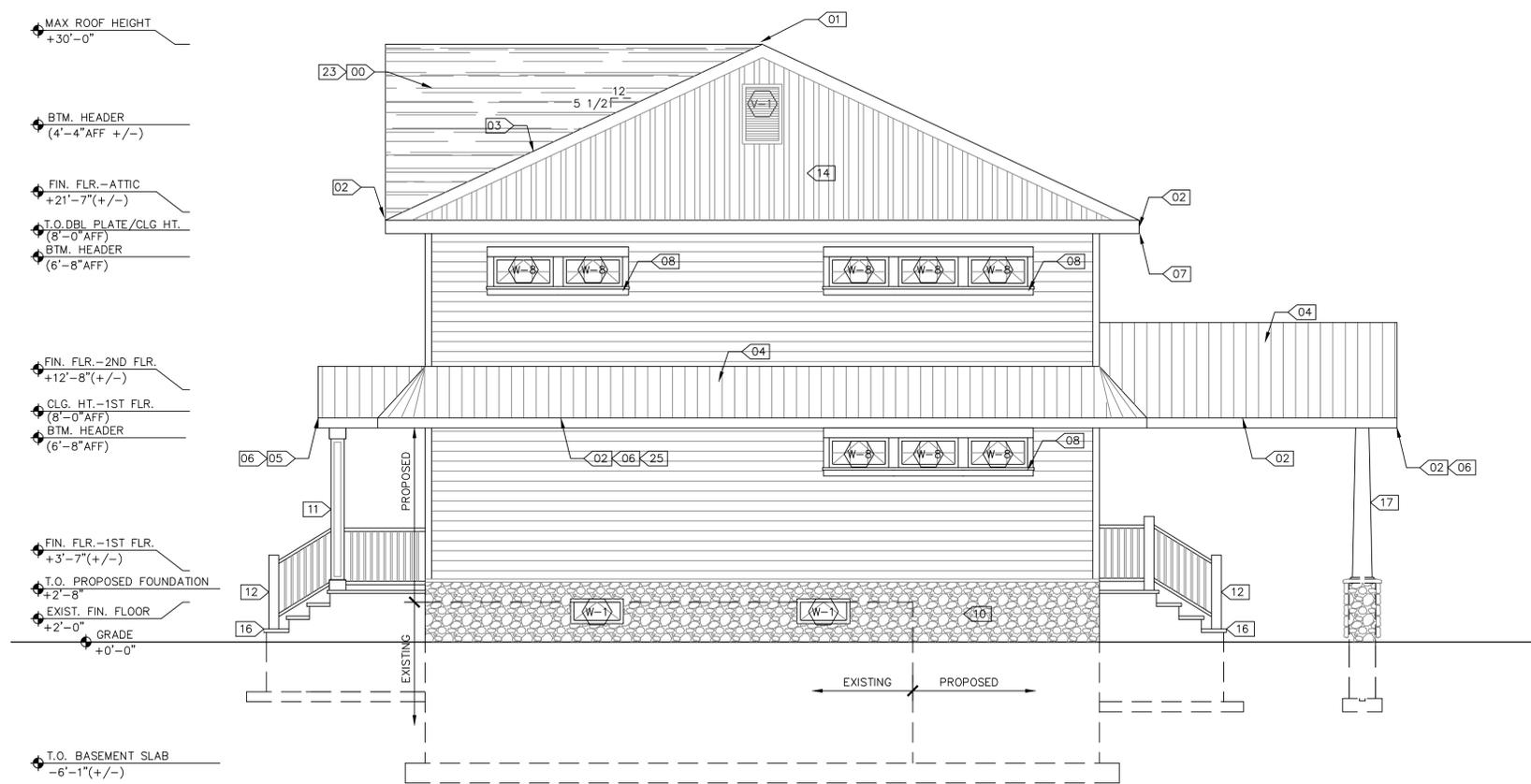
drawn	FK	AS NOTED
6/11/2021	check	scale
issue date		2020-40
		project no.

DRAWING NUMBER  
**A-003**

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1 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (RIGHT-FACING FRONT)  
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES
- 00 PROVIDE TIMBERLINE HDZ SHINGLES (COLOR: TBD). INSTALL PER MANUF. REQUIREMENTS
  - 01 PROVIDE COR-A-VENT V-300 8 1/2" RIDGE VENT. PROVIDE 1" CLEARANCE FROM RIDGE MEMBER TO UNDERSIDE OF ROOF SHEATHING. TERMINATE ROOF SHEATHING FLUSH W/ SIDE FACE OF RIDGE (EACH SIDE).
  - 02 PROVIDE 5" OGEE GUTTER (COLOR TBD) W/ DOWNSPOUTS AND ALL ACCESSORIES. CONNECT TO UNDERGROUND DRAINAGE SYSTEM.
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  - 05 PROVIDE WHITE RAIN HANDLER. INSTALL PER MANUF. REQUIREMENTS
  - 06 PROVIDE WHITE SOLID SOFFIT PANELS. INSTALL PER MANUF. REQUIREMENTS
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  - 08 TYP. EXTERIOR WINDOW/DOOR TRIM -ALL TRIM IS TO BE AZEK BRAND -INSTALL AS PER MANUF. RECOMMENDATIONS -INCLUDE HEAD, JAMB, WINDOW SILL, AND APRON AS SHOWN -6" HEADER SIZE -3" JAMB SIZE -INCLUDE SILL PLATE W/ 3" APRON
  - 09 PROVIDE AZEK TRIM BELOW 1ST FLOOR FRONT WINDOWS. INSTALL PER MANUF. RECOMMENDATIONS.
  - 10 PROVIDE MANUFACTURED STONE VENEER W/ TOP CAP. INSTALL PER MANUF. RECOMMENDATIONS.
  - 11 PROVIDE PT. 4X4 COLUMN W/ STANDOFF FOR PORTICO. WRAP COLUMNS W/ 8X8 PVC COLUMN WRAP. INSTALL PER MANUF. RECOMMENDATIONS.
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  - 16 PROVIDE MASONRY STAIRS. SEE DETAIL 3/A-005.
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  - 22 INSTALL SHUTTERS PER MANUF. RECOMMENDATIONS. COLOR: TBD
  - 23 ALL PLUMBING PENETRATIONS TO BE PLACED ON THE REAR SIDE OF ROOF.
  - 24 PROVIDE AZEK TRIM IN PORTICO. INSTALL PER MANUF. RECOMMENDATIONS.
  - 25 PROVIDE APPLIED EAVE AS PER DETAIL 1/A-005

PREPARED BY:  
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*F. H. Klob*  
NEW JERSEY REGISTERED ARCHITECT #13A01798100

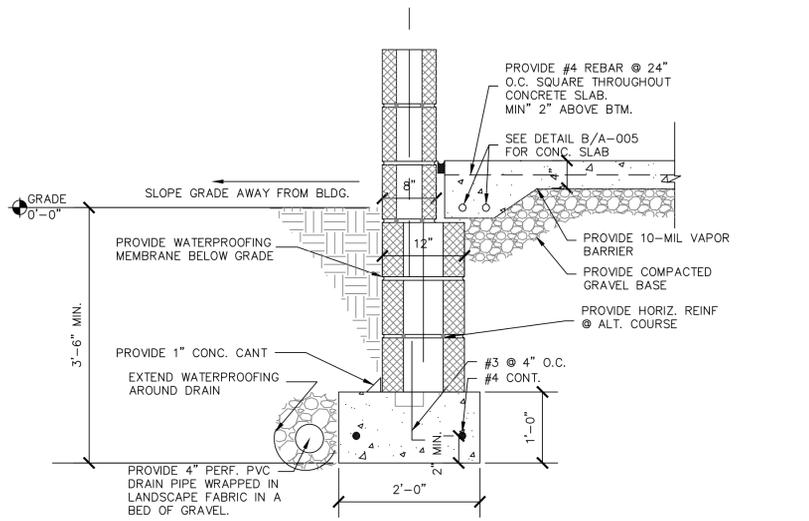
PROJECT:  
RENOVATIONS TO:  
HENRIQUES RESIDENCE  
BLOCK: 10.2 LOT: 16  
40 WESTBROOK AVE  
MIDLAND PARK, NJ 07432

DRAWING TITLE:  
ELEVATIONS  
REAR &  
RIGHT

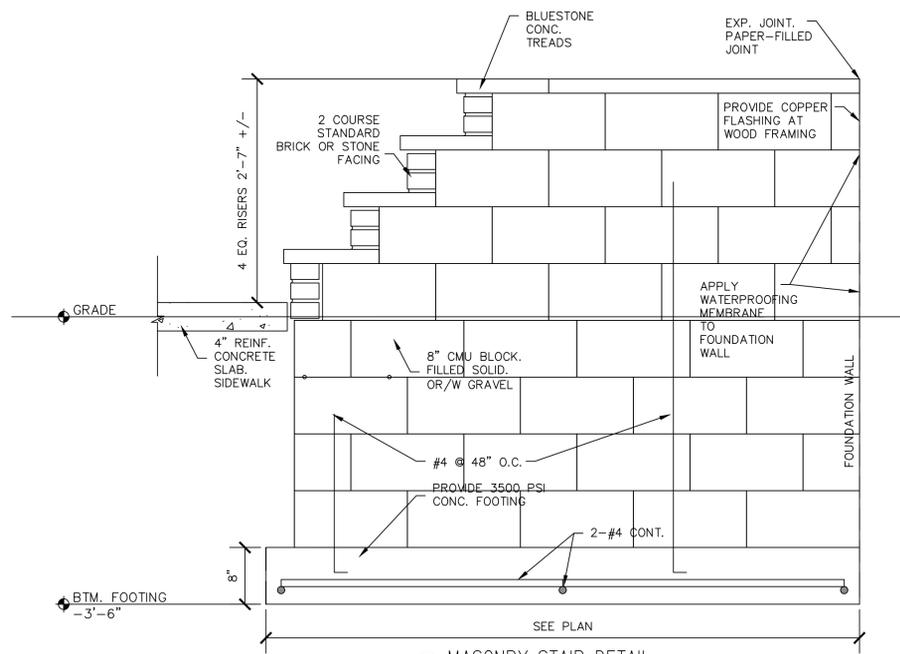
drawn	FK	1/4" = 1'-0" scale
6/11/2021 issue date	check	2020-40 project no.

DRAWING NUMBER  
**A-004**

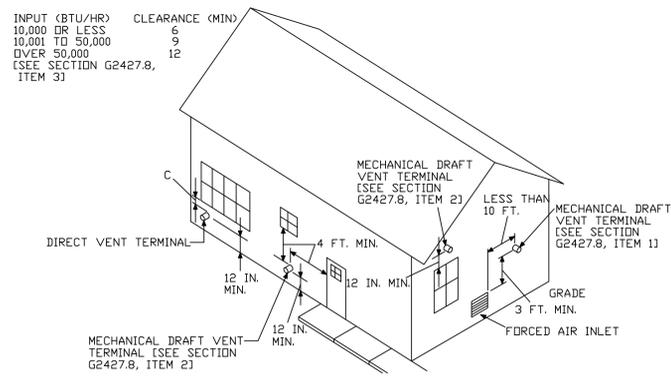
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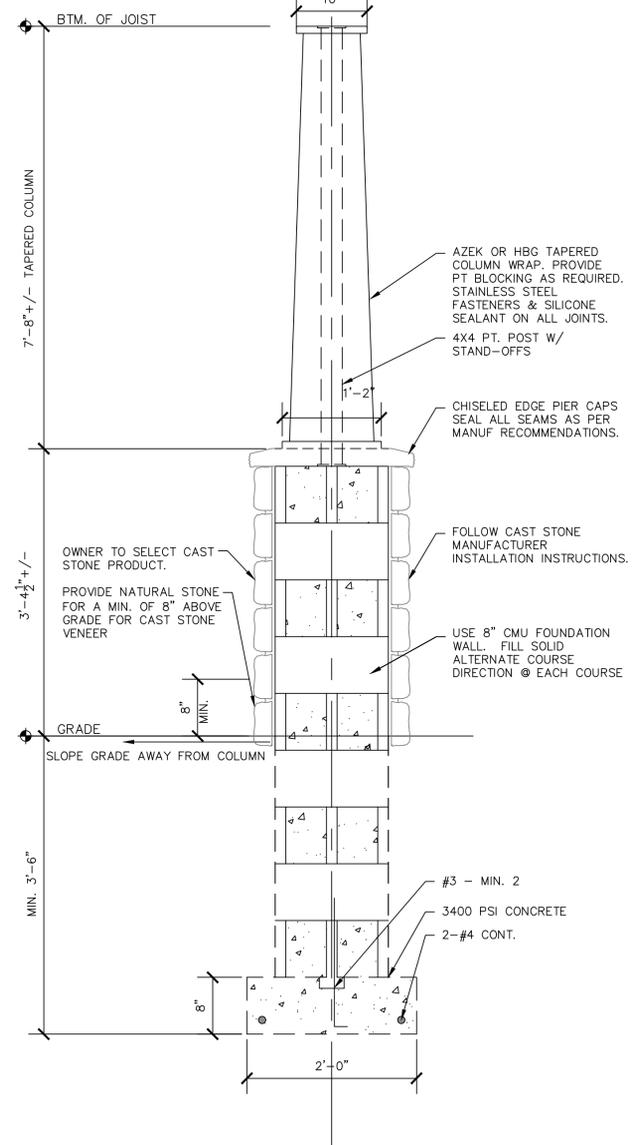
4 GARAGE FOOTING DETAIL  
SCALE: 1" = 1'-0"



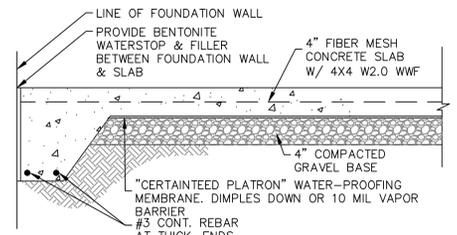
3 MASONRY STAIR DETAIL  
SCALE: 1" = 1'-0"



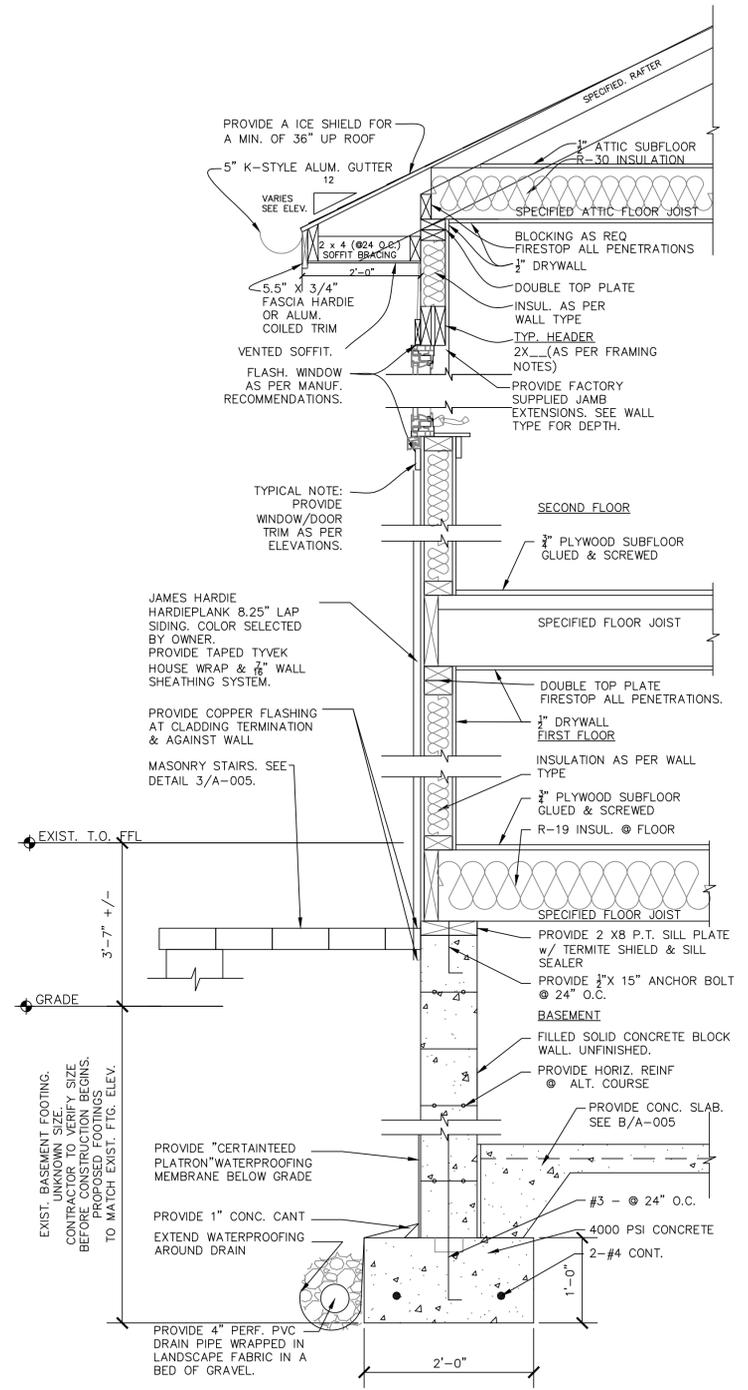
D DIRECT VENT REQUIREMENTS  
SCALE: N.T.S.



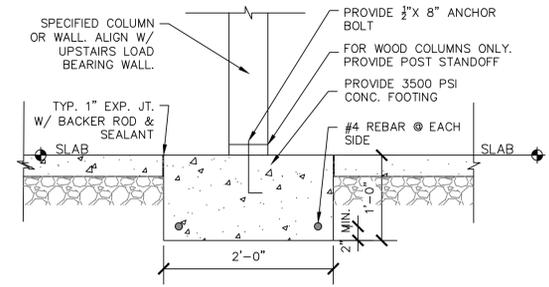
2 TYPICAL COLUMN DETAIL  
SCALE: 1" = 1'-0"



B CONC. SLAB DTL.  
SCALE: 1" = 1'-0"



1 TYPICAL WALL SECTION  
SCALE: 1" = 1'-0"



A SHALLOW FTG. DTL.  
SCALE: 1" = 1'-0"

PREPARED BY:  
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*F. J. K.*

NEW JERSEY REGISTERED ARCHITECT #21A01798100

PROJECT:  
RENOVATIONS TO:  
HENRIQUES RESIDENCE  
BLOCK:10.2 LOT:16  
40 WESTBROOK AVE  
MIDLAND PARK, NJ 07432

DRAWING TITLE:  
SECTIONS & DETAILS

drawn	FJK	AS NOTED
check		scale
6/11/2021		2020-40
issue date		project no.

DRAWING NUMBER

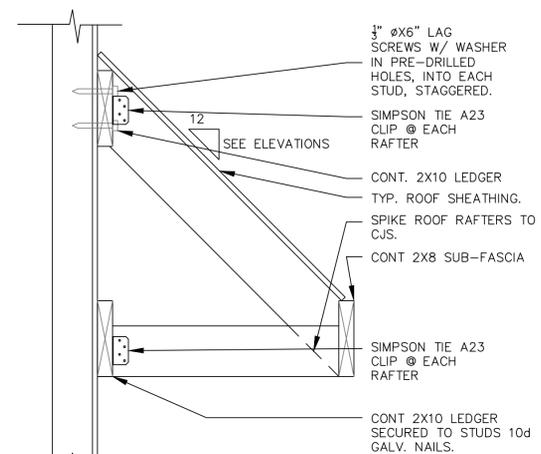
A-005

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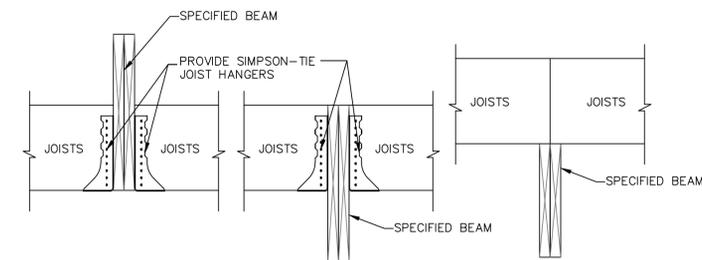
WINDOW SCHEDULE							
WIN. #	TYPE	FRAME SIZE (WXH)	ROUGH OPNG. SIZE (WXH)	WALL THICK.	GLASS TYPE	WINDOW MUNTINS	NOTES
W-1	AWNING	2'-8" X 1'-3"	2'-9" X 1'-4"	8" CMU	DBL. PANE -LOW-E	NO	
W-2	AWNING	2'-9" X 2'-9"	2'-10" X 2'-10"	2 x 6 WALL	DBL. PANE -LOW-E	YES	
W-3	PIC W/ DBL HNG	(2) 2'-2 1/2" X 4'-0" (1) 3'-2 1/2" X 4'-0"	7'-9" X 4'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	FACTORY MULLED
W-4	CASEMENT	(2) 2'-9" X 4'-0"	5'-7" X 4'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	FACTORY MULLED. MEETS EGRESS REQ. OF 5.7 SF
W-5	CASEMENT	2'-9" X 4'-0"	2'-10" X 4'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	FACTORY MULLED. MEETS EGRESS REQ. OF 5.7 SF
W-6	PIC W/ CSMT	(2) 2'-2 1/2" X 4'-0" (1) 3'-2 1/2" X 4'-0"	7'-9" X 4'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	FACTORY MULLED. MEETS EGRESS REQ. OF 5.7 SF
W-7	CASEMENT	(2) 2'-9" X 4'-0"	5'-7" X 4'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	FACTORY MULLED. MEETS EGRESS REQ. OF 5.7 SF
W-8	AWNING	3'-0" X 1'-6"	3'-1" X 1'-7"	2 x 6 WALL	DBL. PANE -LOW-E	YES	
W-9	DBL HUNG	2'-2 1/2" X 4'-0"	2'-3 1/2" X 4'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	
W-10	AWNING	2'-0" X 2'-0"	2'-1" X 2'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	
W-11	FIXED	2'-9" X 2'-9"	2'-10" X 2'-10"	2 x 6 WALL	DBL. PANE -LOW-E	YES	
W-12	AWNING	(3) 2'-0" X 2'-0"	6'-1" X 2'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	FACTORY MULLED
W-13	AWNING	2'-0" X 2'-0"	2'-1" X 2'-1"	2 x 6 WALL	DBL. PANE -LOW-E	YES	
V-1	GABLE VENT	1'-8" X 2'-8"	1'-9" X 2'-9"	2 x 6 WALL	NOT APPLICABLE	NO	

DOOR SCHEDULE									
DOOR #	HINGE TYPE	DOOR KNOB/LEVER	WIDTH	HEIGHT	DEPTH	ROUGH OPENING	HC/SC	FINISH	COMMENTS
B01	HINGED-3 HINGES	KNOB-PASSAGE	32"	80"	1 3/8"	34" X 81 1/2"	SC	PAINTED - WHITE	LOUVER OVER LOUVER DOOR
G01	TRACK-OVERHEAD	LEVER	108"	96"	1 3/4"	111" X 98"	INSUL.	WHITE	INCL. CARRIAGE HOUSE STYLE HARDWARE
100	SLIDING TRACK	STANDARD LOCKSET	60"	80"	1 3/4"	62" X 81 1/2"	GLASS	WHITE	
101	EXT. TYPE PIANO HINGE	MORTISE LOCKSET	36"	80"	1 3/4"	64" X 81 1/2"	SC	STAINED	
102	HINGED-3 HINGES	MORTISE LOCKSET	36"	80"	1 3/4"	38" X 81 1/2"	SC	WHITE	6 PANEL W/ TWO WINDOWS ALONG TOP
103	HINGED-3 HINGES	KNOB-PASSAGE	32"	80"	1 3/8"	34" X 81 1/2"	SC	PAINTED - WHITE	
104	HINGED-3 HINGES	KNOB-PRIVACY LOCK	32"	80"	1 3/8"	34" X 81 1/2"	SC	PAINTED - WHITE	
105	HINGED-3 HINGES	KNOB-PASSAGE	32"	80"	1 3/8"	34" X 81 1/2"	HC	PAINTED - WHITE	
106	HINGED-3 HINGES	KNOB-PASSAGE	30"	80"	1 3/8"	32" X 81 1/2"	HC	PAINTED - WHITE	
107	HINGED-3 HINGES	KNOB-PASSAGE	24"	80"	1 3/8"	26" X 81 1/2"	HC	PAINTED - WHITE	

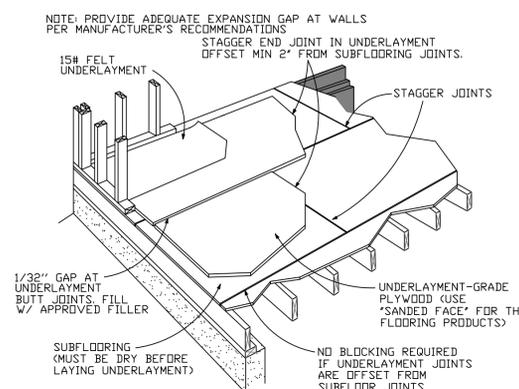
DOOR NOTES:  
 1. SEE DWG. A-001 FOR WALL THICKNESS DETAILS.  
 2. SEE T-001 FOR HEADER SIZES.  
 3. ALL DOORS TO INCLUDE A DOOR STOP IF ADJACENT TO WALL.  
 4. OWNER TO DEFINE ALL FINAL DOOR SELECTIONS & DOOR FINISHES.  
 5. PROVIDE PRICING TO INSTALL A CHAMBERLAIN SCREW DRIVE GARAGE DOOR OPENER ON ALL G01 DOORS.  
 6. "X" AFTER A DOOR NUMBER DESIGNATES A 20 MINUTE FIRE-RATED DOOR.  
 7. ALL WINDOWS TO INCLUDE FACTORY INSTALLED WINDOW JAMB EXTENSIONS.



1 APPLIED EAVE DETAIL  
SCALE: 1" = 1'-0"



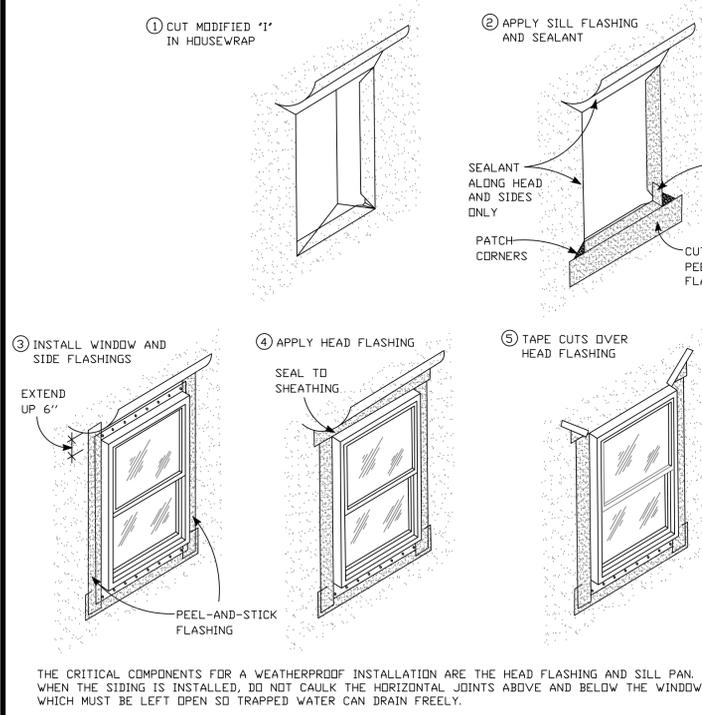
FLUSH BEAM PARTIAL DROP DROP BEAM  
 A BEAM DETAILS  
SCALE: N.T.S.



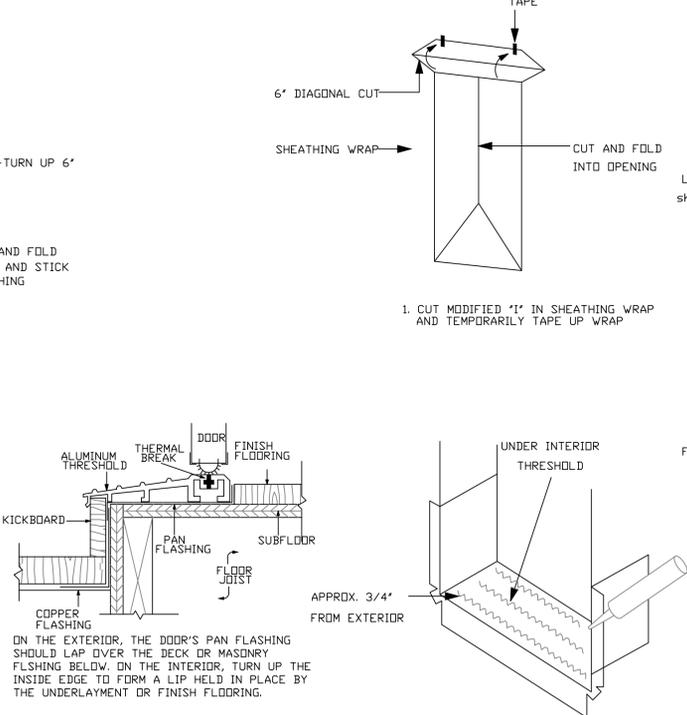
B TYP. CERAMIC TILE WALL DETAIL  
SCALE: 1" = 1'-0"

D TYP. HARDWOOD FLOOR DETAIL  
SCALE: N.T.S.

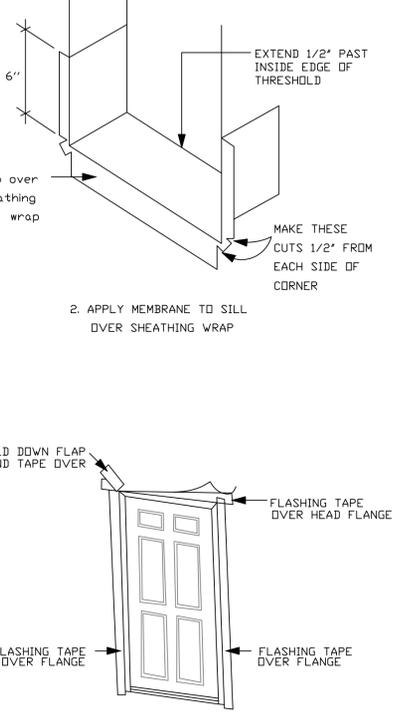
C TYP. CERAMIC TILE FLOOR DETAIL  
SCALE: 1" = 1'-0"



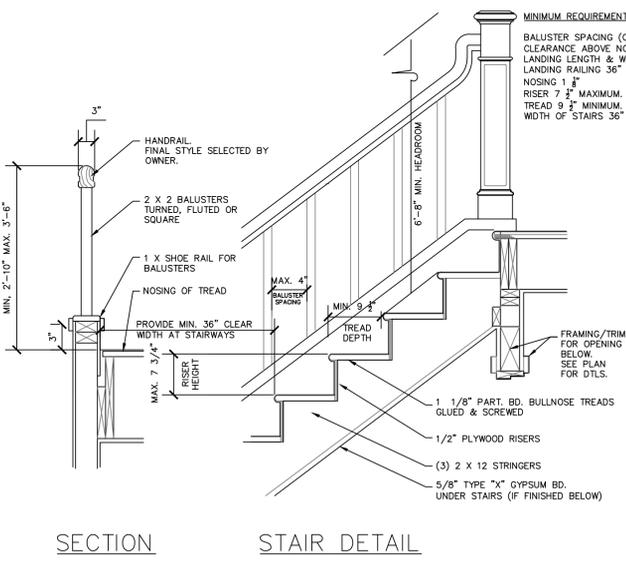
H TYP. EXTERIOR WINDOW INSTALLATION  
SCALE: N.T.S.



G TYP. EXTERIOR DOOR SADDLE DTL.  
SCALE: N.T.S.



F TYP. EXTERIOR DOOR INSTALLATION  
SCALE: N.T.S.



E STAIR & HANDRAIL DETAIL  
SCALE: N.T.S.

PREPARED BY:  
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NEW JERSEY REGISTERED ARCHITECT #21AD1798100

PROJECT:  
**RENOVATIONS TO:  
 HENRIQUES RESIDENCE  
 BLOCK:10.2 LOT:16**  
 40 WESTBROOK AVE  
 MIDLAND PARK, NJ 07432

DRAWING TITLE:  
**SCHEDULES  
 & DETAILS**

drawn	FK	AS NOTED
6/11/2021	check	scale
issue date		2020-40
		project no.

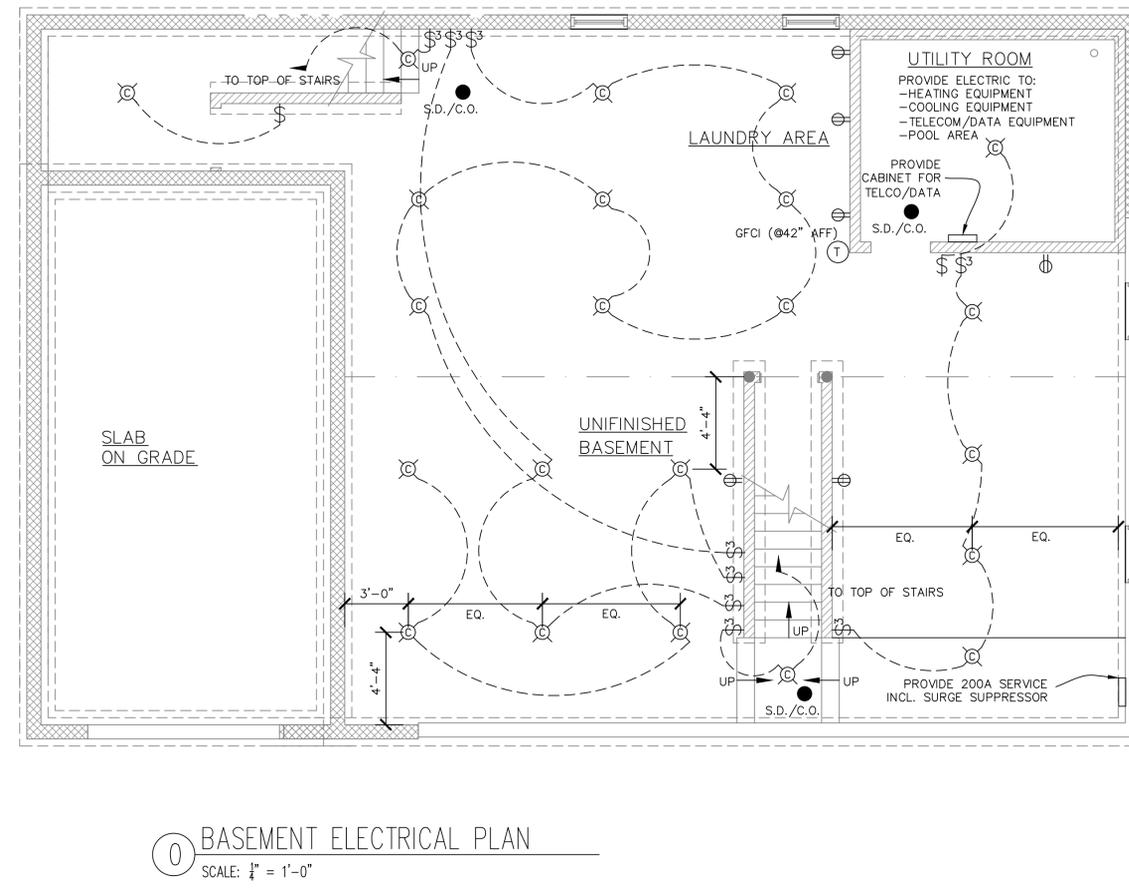
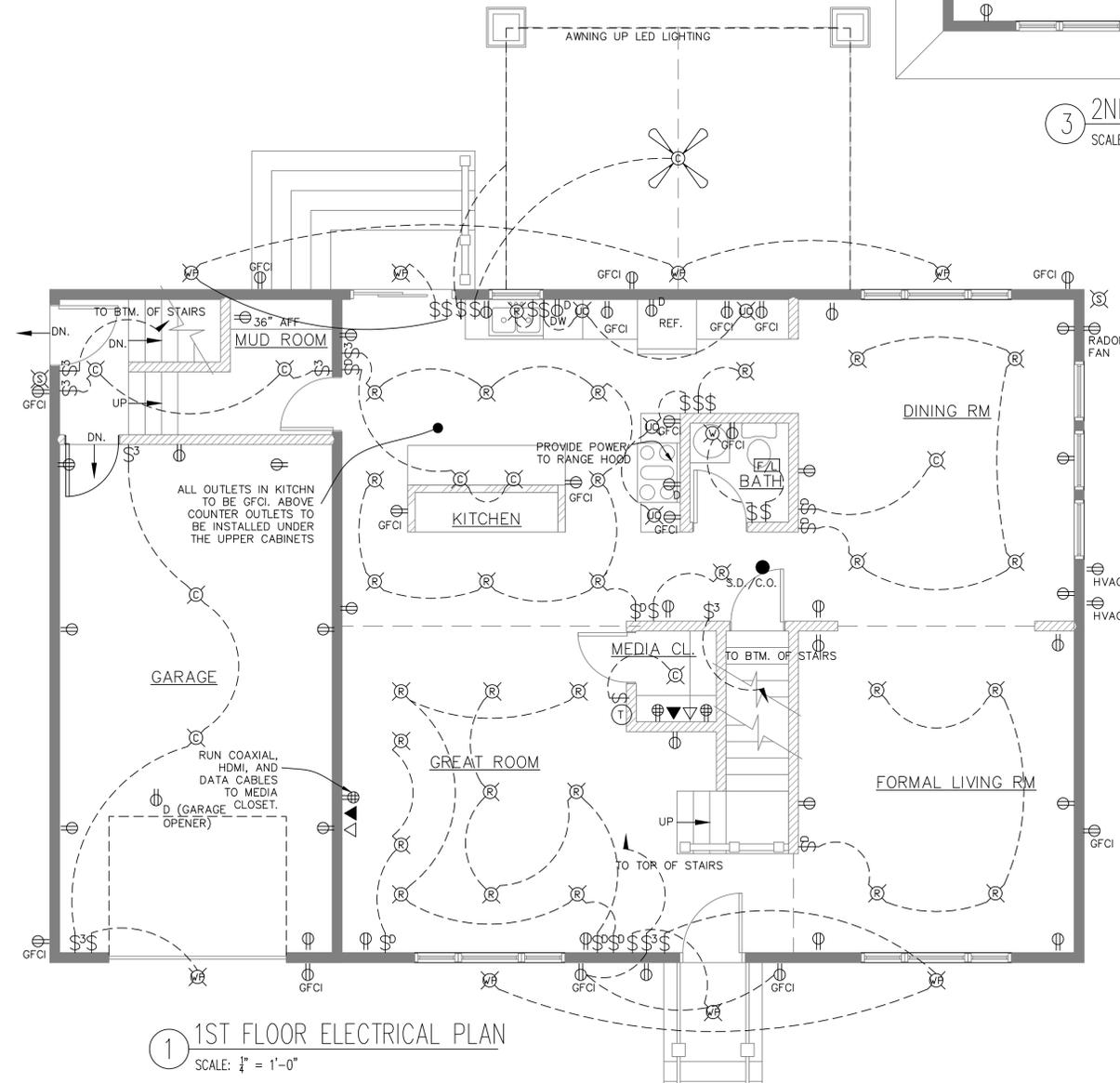
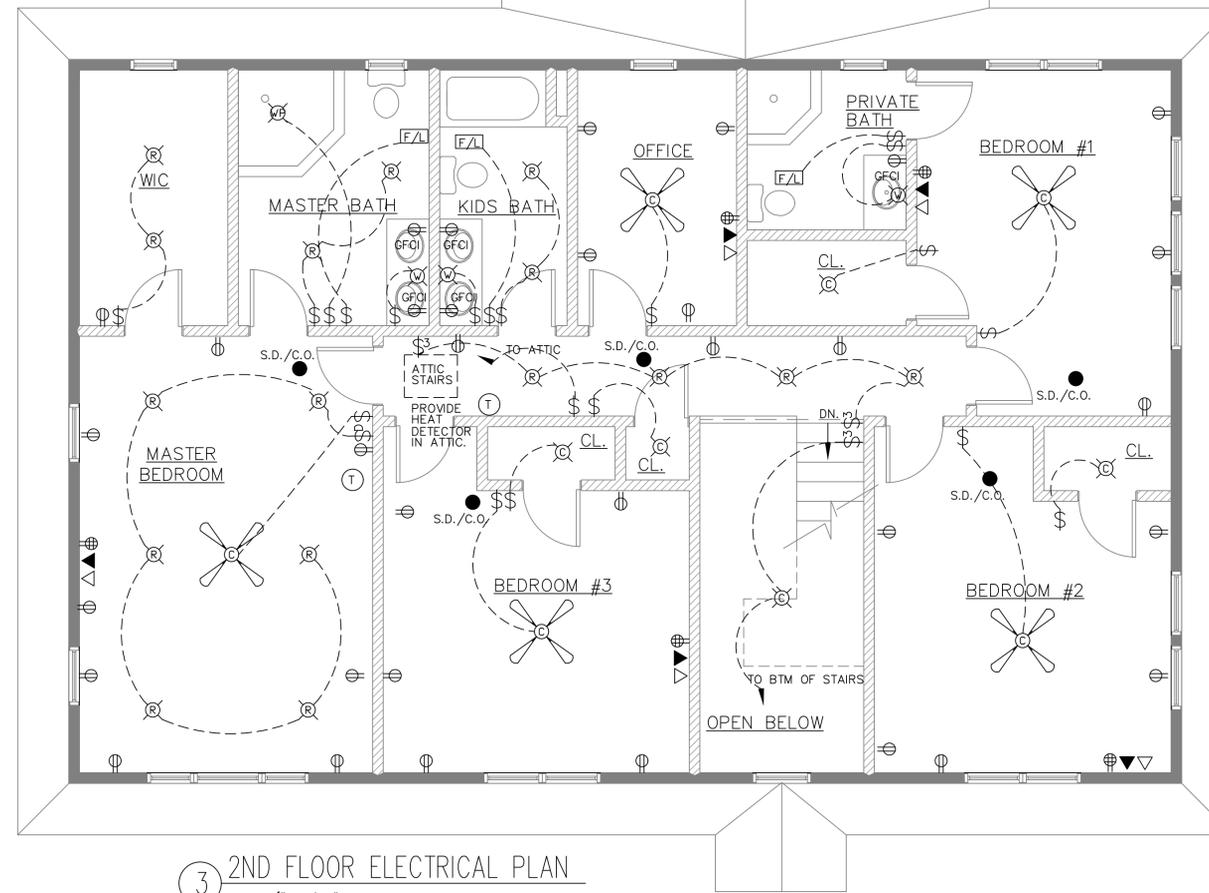
DRAWING NUMBER  
**A-006**

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**LEGEND**

(XXX)	DOOR TAG. REVIEW DOOR SCHEDULE - A-006
(W-1)	WINDOW TAG. REVIEW WINDOW SCHEDULE - A-006
#	WALL TYPE SEE DWG #3-A-001 FOR INFO
FP	ELEC. PANEL
⊕	DUPLEX ELEC. OUTLET
⊖	DIRECT CIRCUIT
⊕-GFI	GROUND FAULT INTERRUPT - DUPLEX ELEC. OUTLET
⊕	QUAD ELEC. OUTLET
\$	SINGLE POLE ELEC. SWITCH
\$ <sup>3</sup>	3-WAY ELEC. SWITCH
\$ <sup>D</sup>	DIMMER ELEC. SWITCH
T	THERMOSTAT
●	SMOKE/CO <sub>2</sub> DETECTOR INTERCONNECTED W/ BATTERY BACKUP
F	EXHAUST FAN
F/A	EXHAUST FAN W/ LIGHT
⊙	CEILING LIGHT FIXTURE. TO BE SELECTED BY OWNER
⊗	RECESSED LIGHT FIXTURE. TO BE SELECTED BY OWNER
⊗	MOTION SECURITY LIGHT FIXTURE. TO BE SELECTED BY OWNER
⊗	UNDER CABINET LIGHT FIXTURE. TO BE SELECTED BY OWNER
⊗	WALL LIGHT FIXTURE. TO BE SELECTED BY OWNER
⊗	WATER PROOF LIGHT FIXTURE. TO BE SELECTED BY OWNER
▲	COAXIAL CABLE
△	DATA CABLE



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*F. H. Klob*

NEW JERSEY REGISTERED ARCHITECT #21AD1798100

PROJECT:  
RENOVATIONS TO:  
HENRIQUES RESIDENCE  
BLOCK: 10.2 LOT: 16  
40 WESTBROOK AVE  
MIDLAND PARK, NJ 07432

DRAWING TITLE:  
**ELECTRICAL PLANS**

drawn	FJK	AS NOTED
6/11/2021	check	scale
issue date		2020-40
		project no.

DRAWING NUMBER  
**E-001**

9 of 9

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