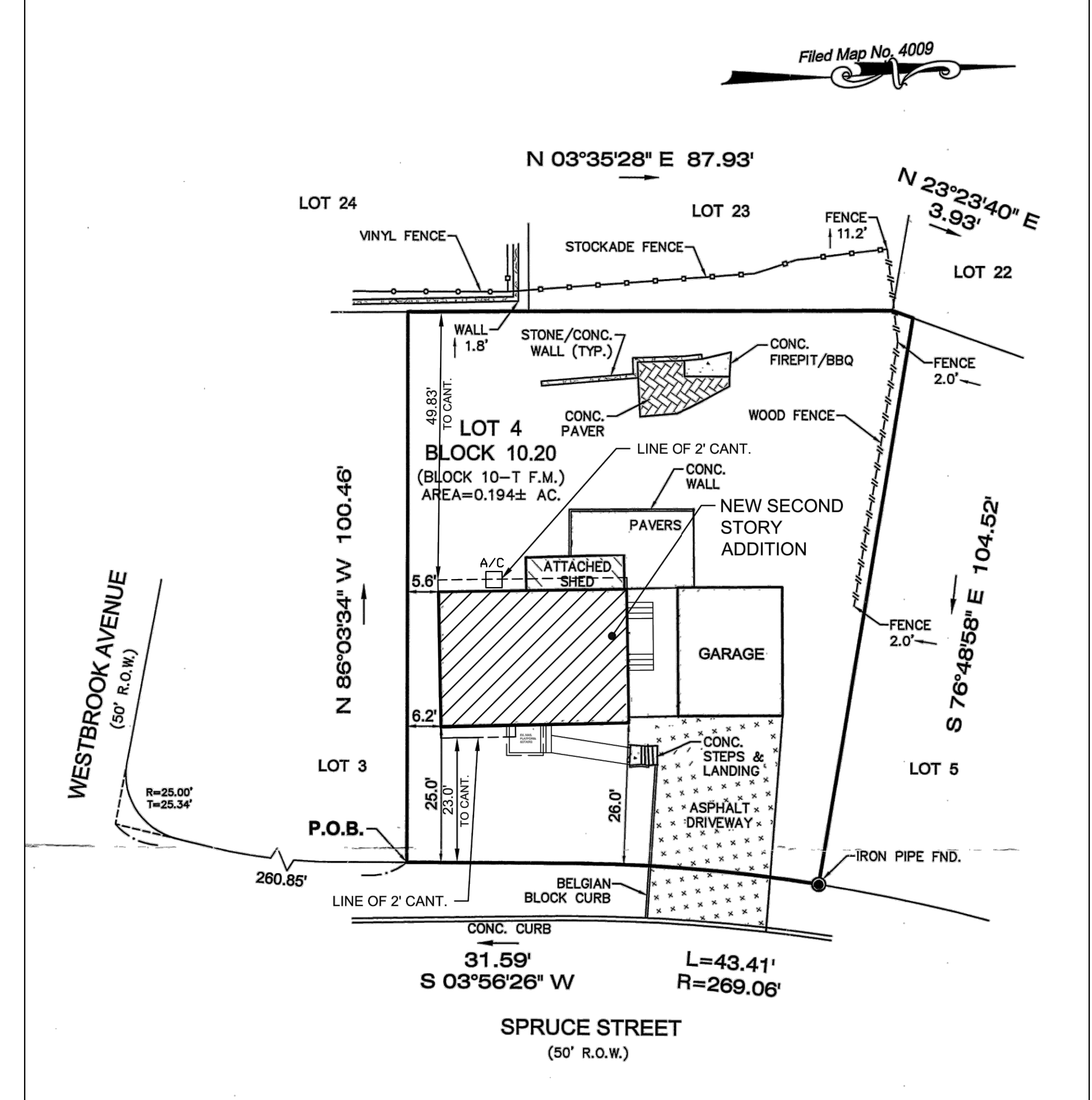


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

- NOTES:
- CONTR. SHALL COMPLETELY REMOVE ALL EXISTING SIDING, TRIMS, FASCIAS, GUTTERS, ECT. DOWN TO TOP OF EXISTING EXTERIOR SHEATHING.
 - PATCH & BLOCK UP ALL OPENINGS, INSTALL NEW "TYVEK" HOUSEWRAP AND SIDING WITH TRIMS.
 - INSTALL NEW ALUM. WRAPPED FASCIAS AND RAKE TRIM.
 - INSTALL NEW GUTTERS & LEADERS THROUGHOUT
 - REPLACE ALL EXISTING WINDOWS WITHIN EXISTING OPENINGS COORDINATE WITH OWNERS



SITE PLAN

SCALE: 1" = 20'

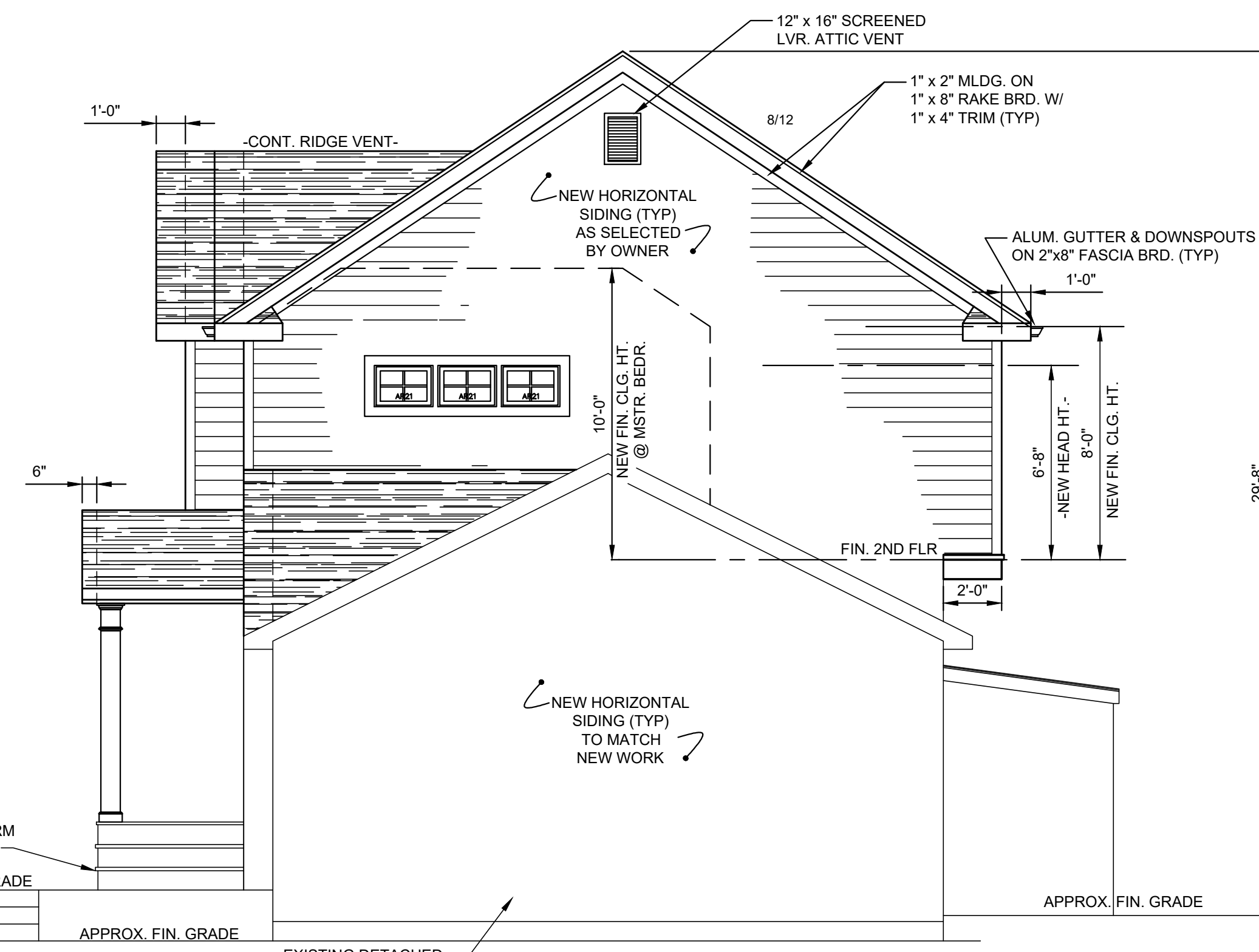
MAP INFORMATION

EXISTING BOUNDARY INFORMATION & SITE INFORMATION TAKEN FROM A PROPERTY SURVEY
 PREPARED BY: MORGAN ENGINEERING & SURVEYING
 P.O. BOX 5232
 TOMS RIVER, NJ 08754
 DATE: 09/01/2017

1. LOCATION: 219 SPRUCE ST., MIDLAND PARK Block: 10.20 Lot: 4
2. OWNER: ADAM & LISA LEZOTT
3. USE GROUP: R-5
4. CONSTRUCTION TYPE: 5B
5. AREA CALCULATIONS:

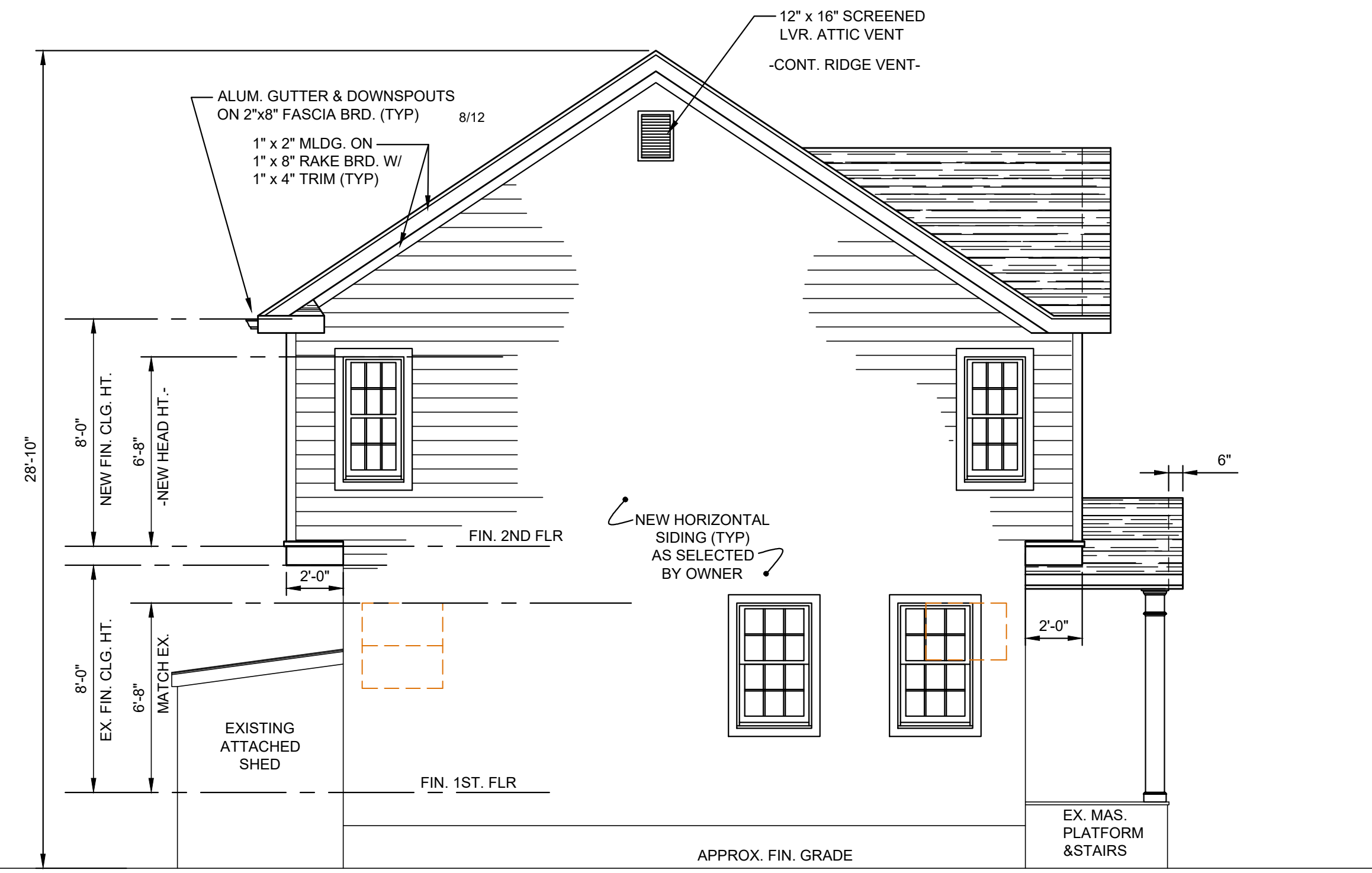
S.F. OF NEW CONSTRUCTION:	AREA
SECOND FLOOR	898 S.F.
C.F. OF NEW CONSTRUCTION:	VOLUME
SECOND FLOOR	7,184 C.F.
ATTIC	3,432 C.F.

6. NJUC - REHABILITATION SUBCODE - ALTERATIONS & ADDITIONS 2021 INTERNATIONAL BUILDING CODE, NJ EDITION 2021 INTERNATIONAL MECHANICAL CODE 2020 NATIONAL ELECTRICAL CODE (NFPA 70) 2021 NATIONAL STANDARD PLUMBING CODE 2021 INTERNATIONAL FUEL GAS CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE
7. THE HVAC SYSTEM WILL BE DESIGNED, PERMITTED AND INSTALLED BY A LICENSED HVAC CONTRACTOR WHO WILL BE RESPONSIBLE FOR THE ENTIRE HEATING AND COOLING OF THIS STRUCTURE. NOTE: HVAC DESIGN / MANUALS J, D & S FOR FORCED - AIR HEATING AND COOLING TO BE SUPPLIED BY G.C / OWNER
8. CARBON MONOXIDE AND SMOKE DETECTOR NOTE: PROVIDE SMOKE DETECTORS IN ALL BEDROOMS, IN HALL, AT BOTTOM OF STAIR TO BASEMENT AS INDICATED ON FLOOR PLANS AND ALL OTHER LOCATIONS AS DETERMINED BY THE FIRE SUB-CODE OFFICIAL. ALL DETECTOR HEADS TO BE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACK-UP. PROVIDE CARBON MONOXIDE DETECTORS IN THE VICINITY OF ALL BEDROOMS (AS SHOWN ON PLANS) AND ALL OTHER LOCATIONS AS DETERMINED BY THE FIRE SUB-CODE OFFICIAL. ALL WIRELESS (MONITORED) SMOKE DETECTORS MUST BE CERTIFIED FROM THE ALARM COMPANY STATING SMOKE DETECTORS HAVE BEEN TESTED AND IN WORKING ORDER.
9. FIRE EXTINGUISHER TO BE MOUNTED IN A VISIBLE LOCATION IN THE KITCHEN. IT SHALL HAVE A 2A 10 BC RATINGS - AND INSTALLED PER LOCAL CODES
10. CODE & REGULATION NOTES: ALL WORK SHALL CONFORM TO ALL RULES AND REGULATIONS OF THE STATE OF NEW JERSEY, BERGEN COUNTY, AND ALL GOVERNING AUTHORITIES HAVING JURISDICTION. THIS INCLUDES, BUT IS NOT LIMITED TO: FIRE CODES, BUILDING AND CONSTRUCTION CODES, CONTROLLED INSPECTIONS, MATERIAL TESTING, LABOR LAW, AND ZONING AND HEALTH REGULATIONS.
11. ANY WORK WHICH DEVIATES FROM SUCH STANDARDS SHALL BE RECTIFIED TO THE SATISFACTION OF THE GOVERNING AUTHORITY. THE REQUIREMENTS OF GOVERNING AUTHORITIES SHALL SUPERSEDE THE DRAWINGS AND SPECIFICATIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED BY WRITTEN CHANGE ORDER BEFORE SUCH WORK IS STARTED. NON-FAMILIARITY WITH GOVERNING RULES AND REGULATIONS SHALL NOT BE CAUSE FOR AN EXTRA CHARGE IN THE EVENT THAT WORK MUST BE REPLACED FOR NONCOMPLIANCE.



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

Addition & Alterations to:
LEZOTT RESIDENCE
 219 SPRUCE ST. MIDLAND PARK
 BERGEN COUNTY NEW JERSEY
 Block: 10.20 Lot: 4

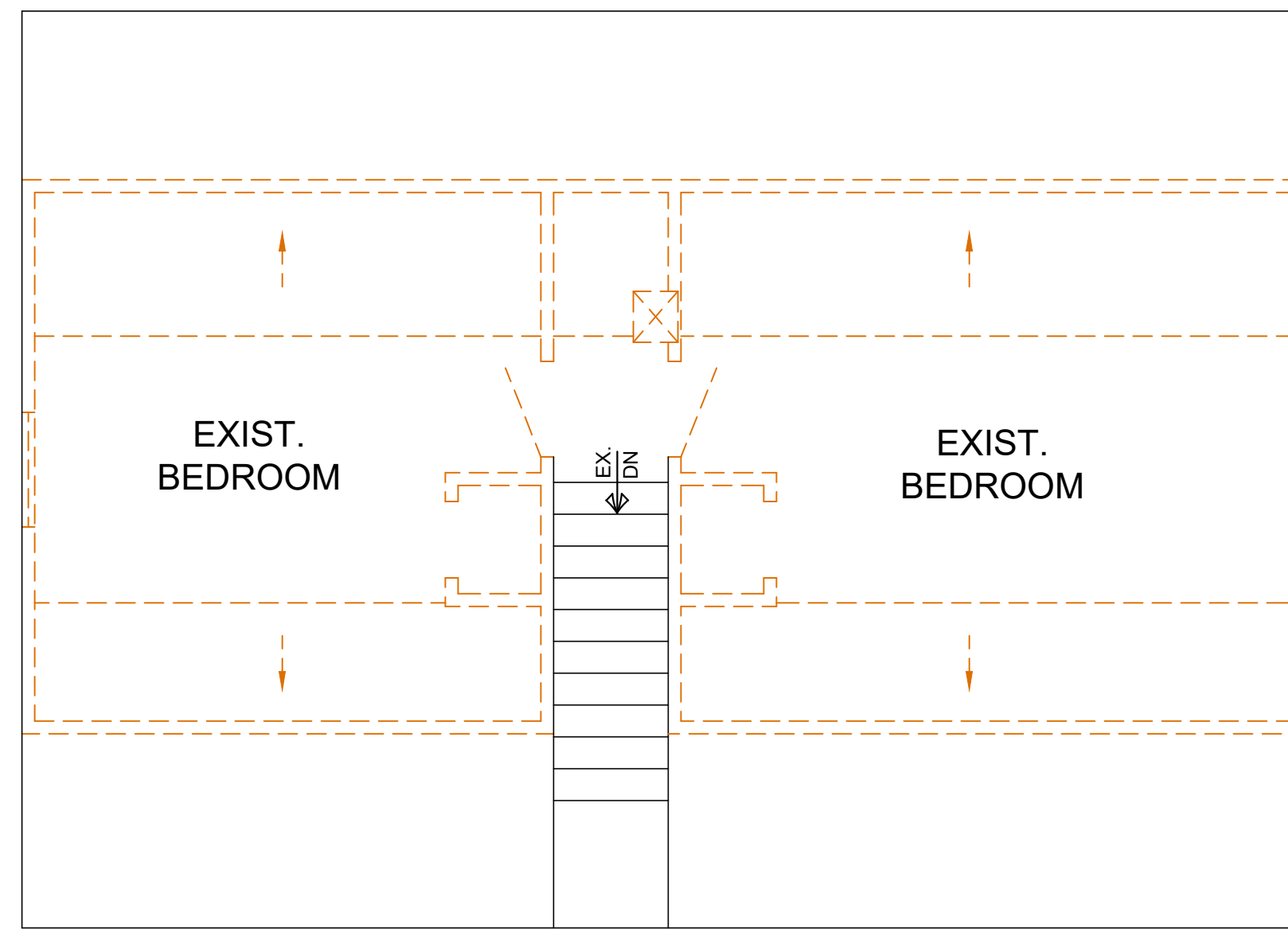
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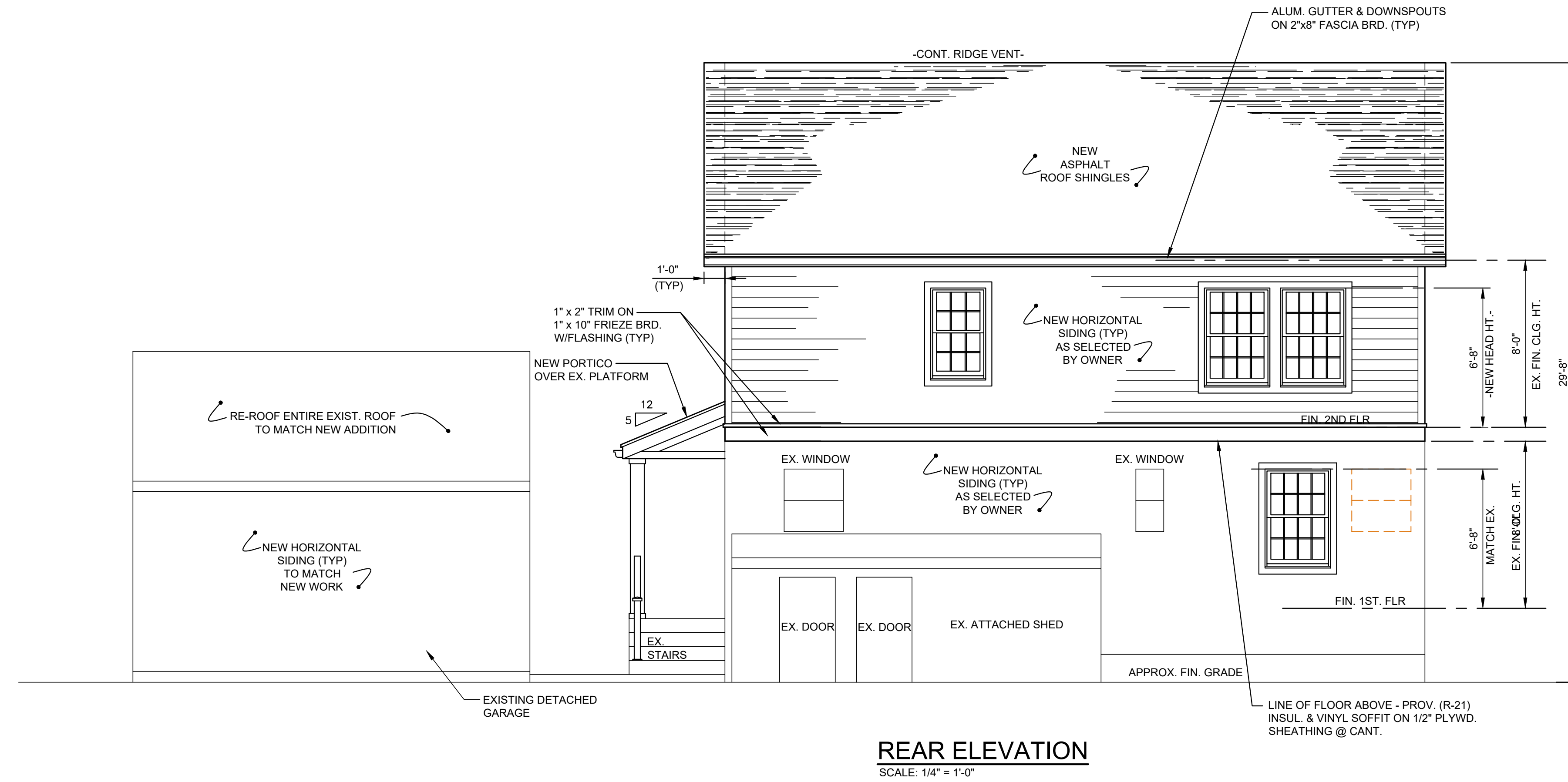
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DATE: 01/25/2024
 DRAWN BY: VU
 CHECKED BY: KM

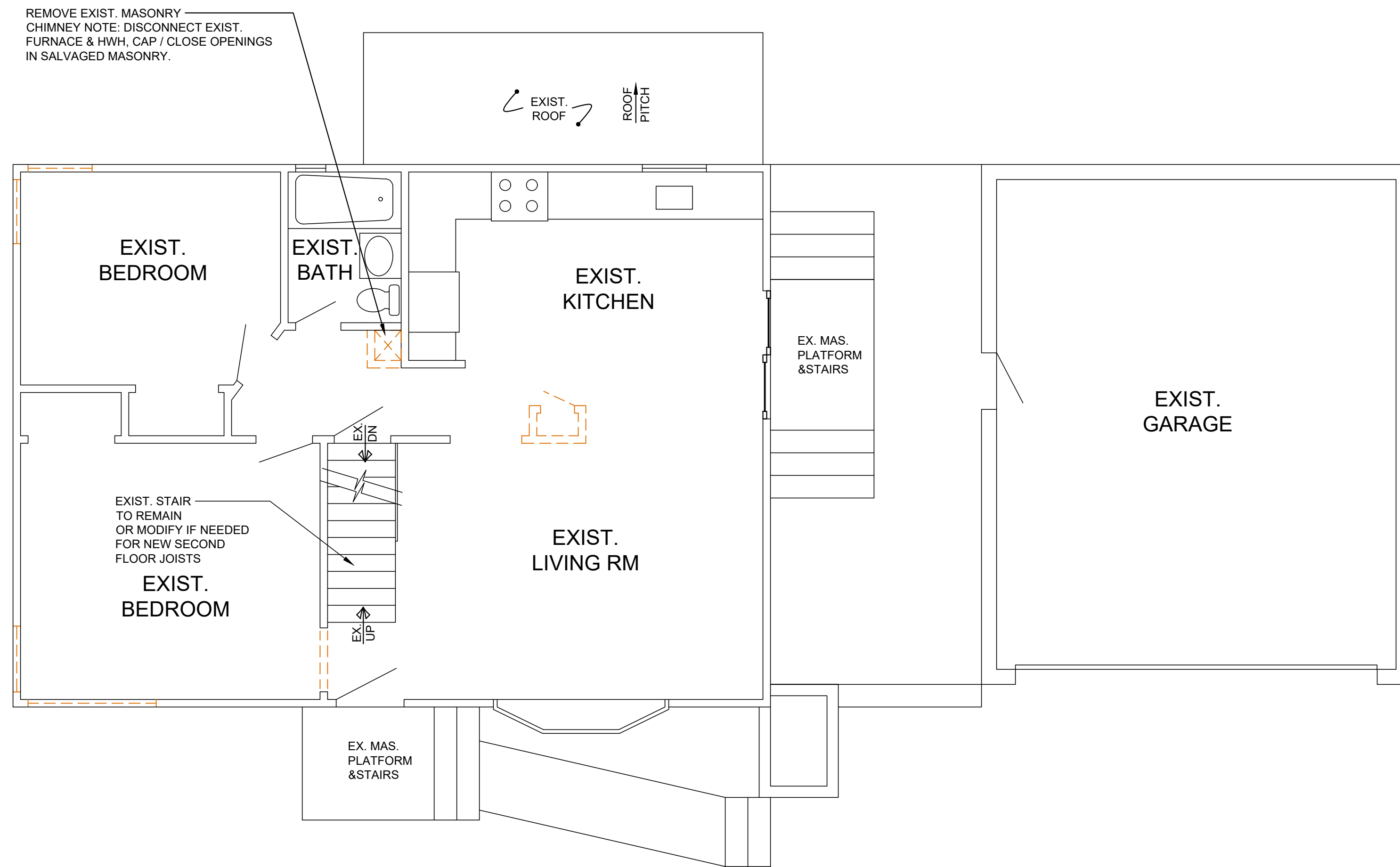
ELEVATIONS



EXIST. SECOND FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXIST. FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- CONTRACTOR SHALL DEMOLISH AND REMOVE ITEMS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL REMAIN RESPONSIBLE FOR ANY DEMOLITION AND/OR REMOVALS NOT SPECIFICALLY CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS, BUT REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS DELINEATED ON THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION AND FOR THE DURATION OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE WHICH MAY OCCUR TO THE EXISTING CONSTRUCTION TO REMAIN CAUSED BY CONTRACTOR DURING DEMOLITION.
- CONTRACTOR SHALL PATCH AND/OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS MAY BE REQUIRED AFTER DEMOLITION, TO PROVIDE A COMPLETE FINISHED INSTALLATION. ANY ACCESSIBLE VOIDS IN INSULATION TO BE FILLED PER R-VALUES IN CODE.
- WHERE EXISTING LUMINARIES, ELECTRICAL RECEPTACLES, AND OTHER ELECTRICAL ITEMS ARE TO BE REMOVED, ALL ASSOCIATED SERVICES SHALL BE CAPPED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ANY FURNITURE OR FURNISHINGS TO REMAIN DURING DEMOLITION OR CONSTRUCTION SHALL BE PROTECTED BY CONTRACTOR. ALL MOVABLE FURNITURE, AND EQUIPMENT SHALL BE REMOVED FROM THE WORK AREA BY THE OWNER PRIOR TO START OF ANY DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING DUST BARRIERS AS APPROPRIATED TO PROTECT ADJACENT AREAS TO FROM DUST AND DEBRIS CAUSED BY CONSTRUCTION.
- PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES ON THE DRAWINGS.
- CONTRACTOR IS TO REMOVE ELECTRICAL CABLES AS REQUIRED PER CODE AND PLUMBING AS REQUIRED PER CODE.
- COORDINATE ALL DEMOLITION WITH CONSTRUCTION PLANS.
- PATCH ALL HOLES LEFT BEHIND IN WALLS FROM THE REMOVAL OR RELOCATION OF SWITCHES AND RECEPTACLE.
- WIRING TO ELECTRICAL DEVICES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED FROM THE PANEL AND DISCARDED.
- ALL WATERLINES TO BASEBOARD HEAT TO BE REMOVED SHALL BE DISCONNECTED, CAPPED, AND DISCARDED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS AND INSPECTIONS WHEN AND IF REQUIRED IN CONNECTION WITH THE DEMOLITION, REMOVAL AND DISPOSAL OF ALL DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION AND REMOVAL AS MAY BE REQUIRED BY THE SCOPE OF THE NEW WORK.
- COORDINATE RELOCATIONS OF ALL HVAC, ELECTRICAL, LIGHTING, DIFFUSERS PRIOR TO COMMENCING WORK. G.C TO REPORT RELOCATING STRATEGY WITH OWNER PRIOR TO DISMANTLING.

EXISTING CONDITIONS

- THE ARCHITECT IS NOT RESPONSIBLE TO UNCOVER, INVESTIGATE, EXAMINE, TEST, ANALYZE OR PRESENT METHODS TO MITIGATE, CORRECT OR ELIMINATE THE FOLLOWING CONDITIONS THAT MAY OR MAY NOT BE PRESENT AT THE SITE:
 - ASBESTOS, MOLD, RADON, LEAD, ROT, WATER / MOISTURE, ENVIRONMENTAL PROBLEMS, HAZARDOUS MATERIALS, POLLUTANTS, GENERAL DETERIORATION, DETERIORATION OF STRUCTURE AND NON-STRUCTURAL MEMBERS, INADEQUATE SOILS / BEARING CAPACITY, INSECT INFESTATION, TESTING & ADEQUACY OF ELECTRICAL / PLUMBING / MECHANICAL SYSTEM / EQUIPMENT, SUB-SURFACE CONDITIONS, ABOVE GROUND / UNDER GROUND UTILITIES, FIRE / SMOKE DAMAGED, PREVIOUSLY-INSTALLED MATERIALS OR WORKMANSHIP.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OWNER TO HAVE THE EXISTING CONDITIONS VERIFIED IN THE FIELD, INCLUDING THOSE ITEMS LISTED ABOVE, TO DETERMINE IF THE PREMISES IS ADVERSELY AFFECTED BY THE ABOVE-LISTED ITEMS PRIOR TO BEGINNING WORK.
- ARCHITECT SHALL BE NOTIFIED IN WRITING OF SUCH FINDINGS.

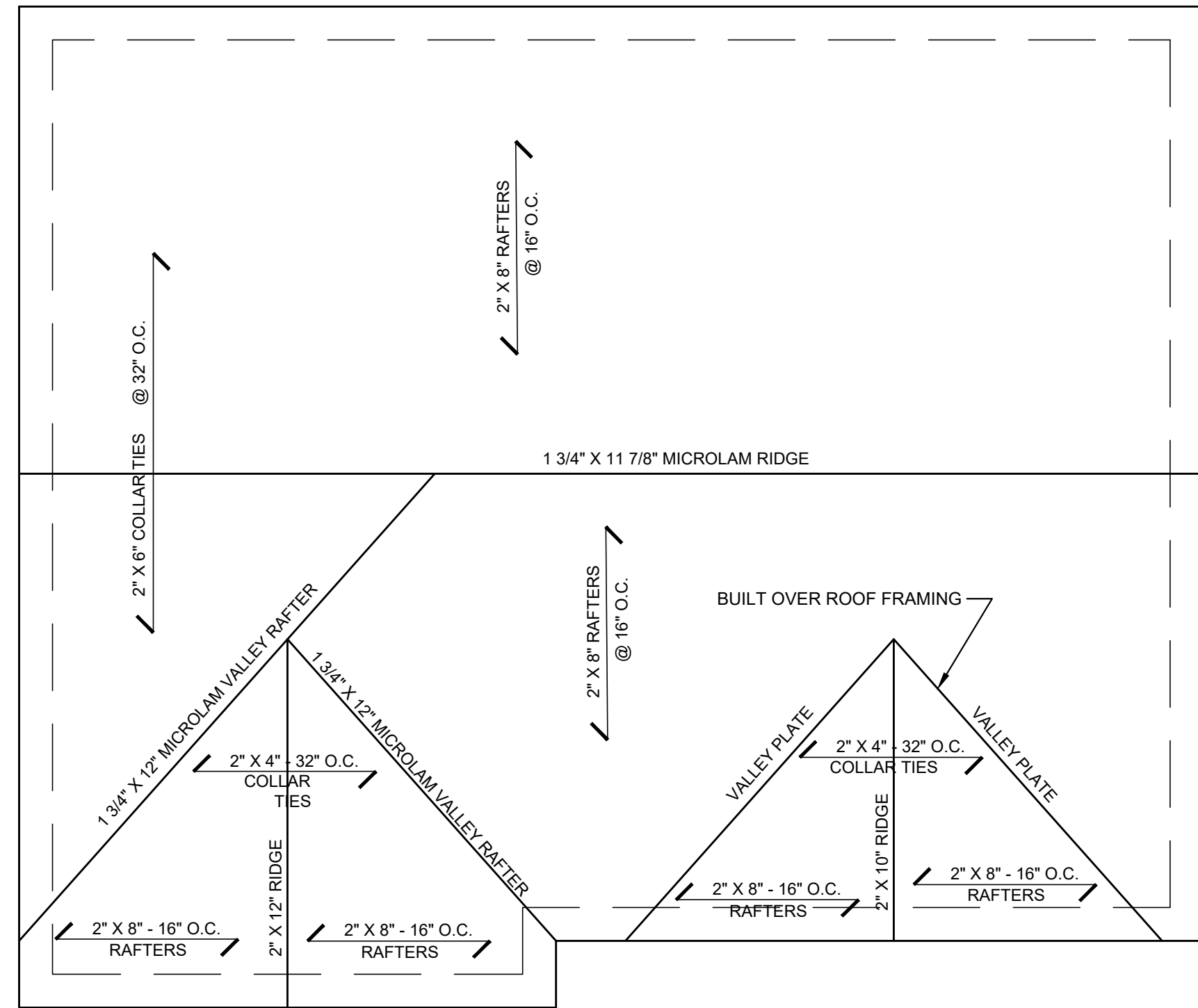
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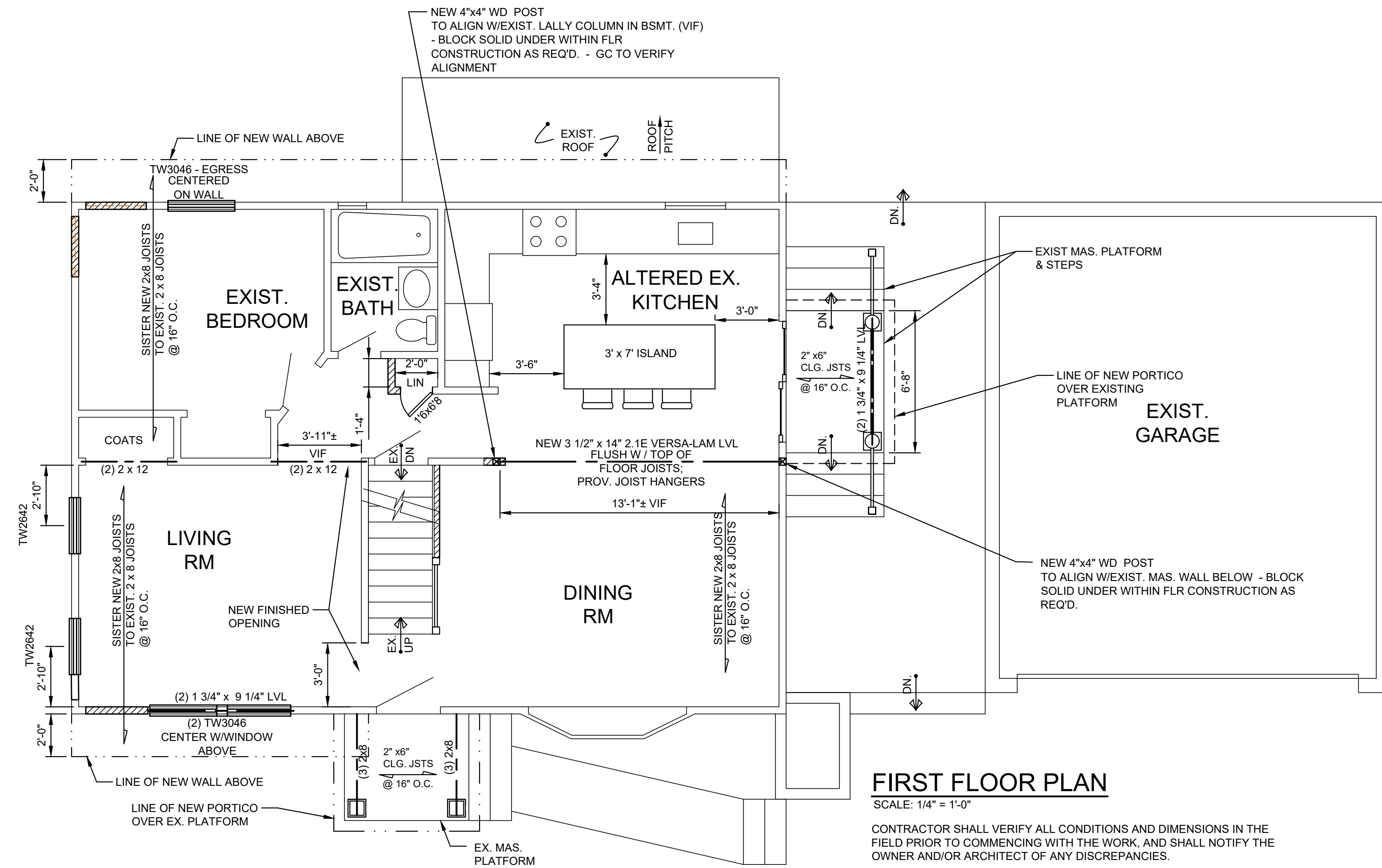
REV	BY	DATE	COMMENTS

Addition & Alterations to:
LEZOTT RESIDENCE
219 SPRUCE ST. MIDLAND PARK
BERGEN COUNTY NEW JERSEY
Block: 10.20 Lot: 4

ELEVATIONS & DEMO PLANS



ROOF PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WITH THE WORK, AND SHALL NOTIFY THE OWNER AND/OR ARCHITECT OF ANY DISCREPANCIES.

DIRECTION AND SIZE OF EXISTING FLOOR/CEILING FRAMING IS ASSUMED. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY RELATED WORK.

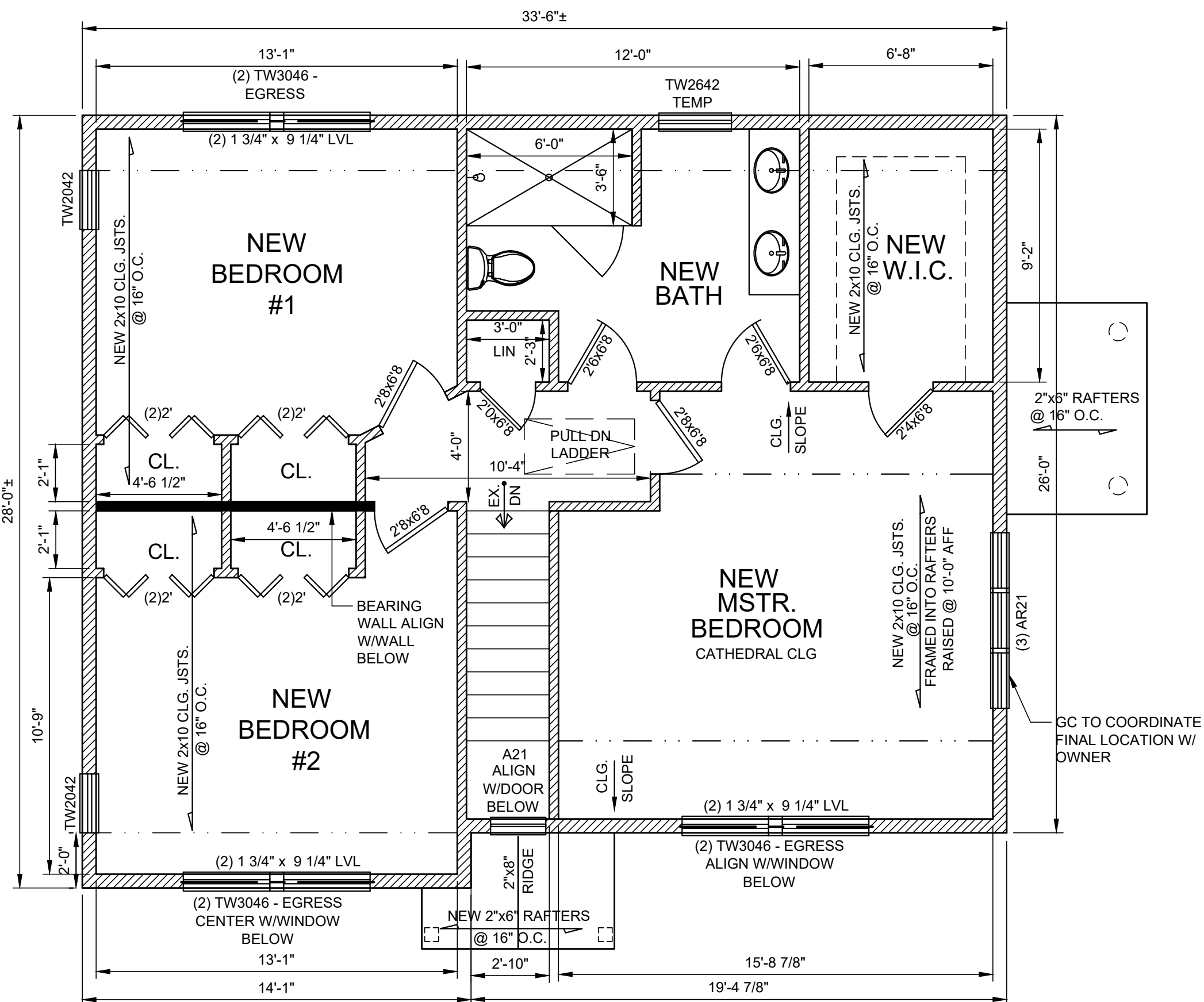
CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MEANS AND METHODS OF INSTALLATION, INCLUDING ALL TEMPORARY SUPPORTS AND SHORING AS REQUIRED TO FACILITATE THE NEW WORK SHOWN.

ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)

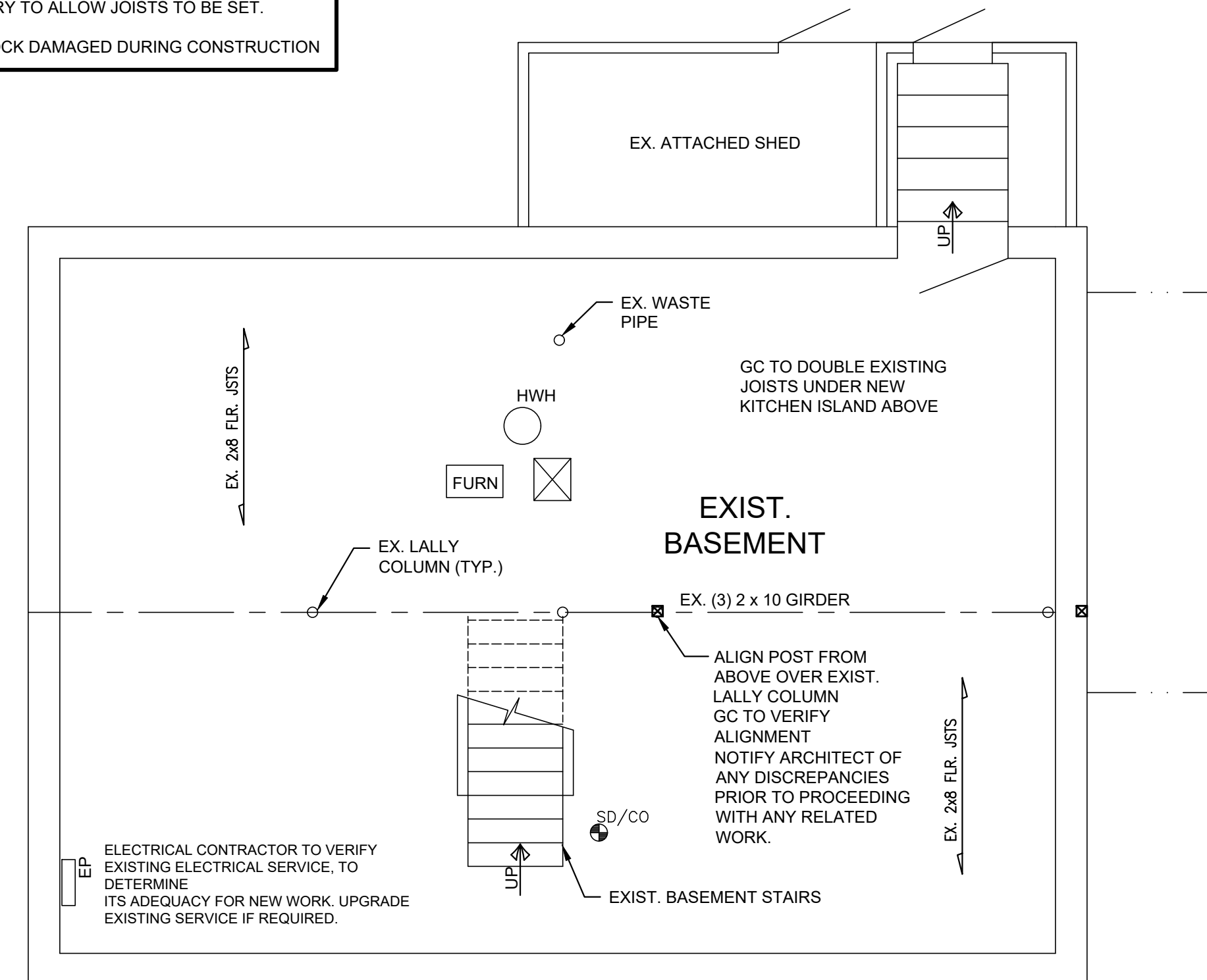
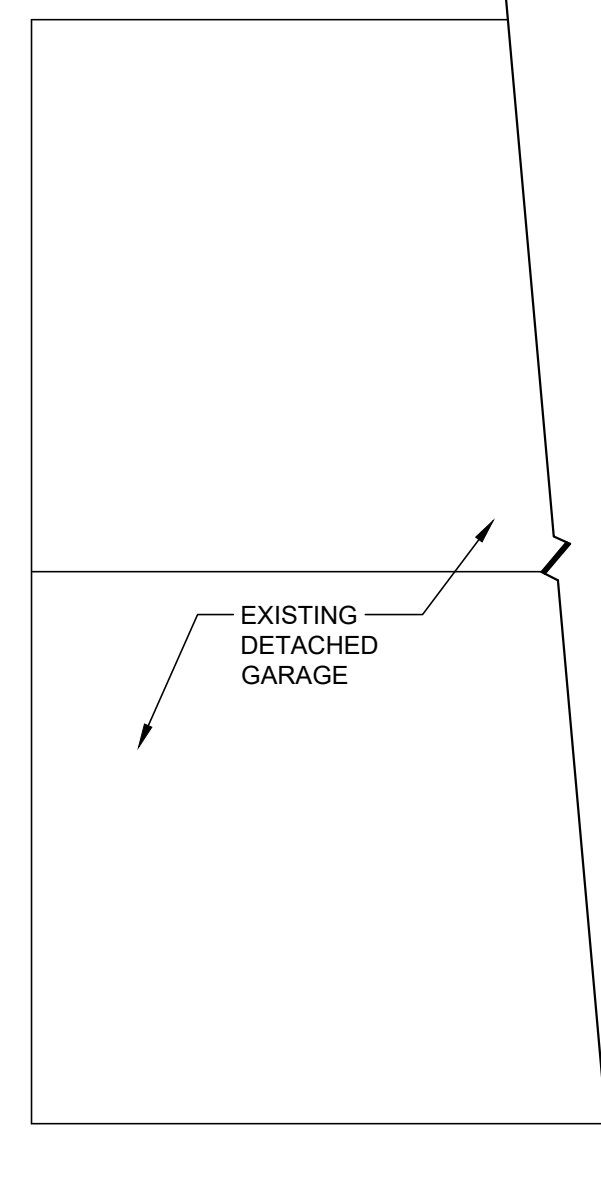
ALL BEAM TO BEAM CONNECTION W/ SIMPSON CONNECTOR, FOR FULL CAPACITY.

ALL LVL BEAMS TO BE SUPPORTED ON LVL POST FOR FULL WIDTH BEARING.

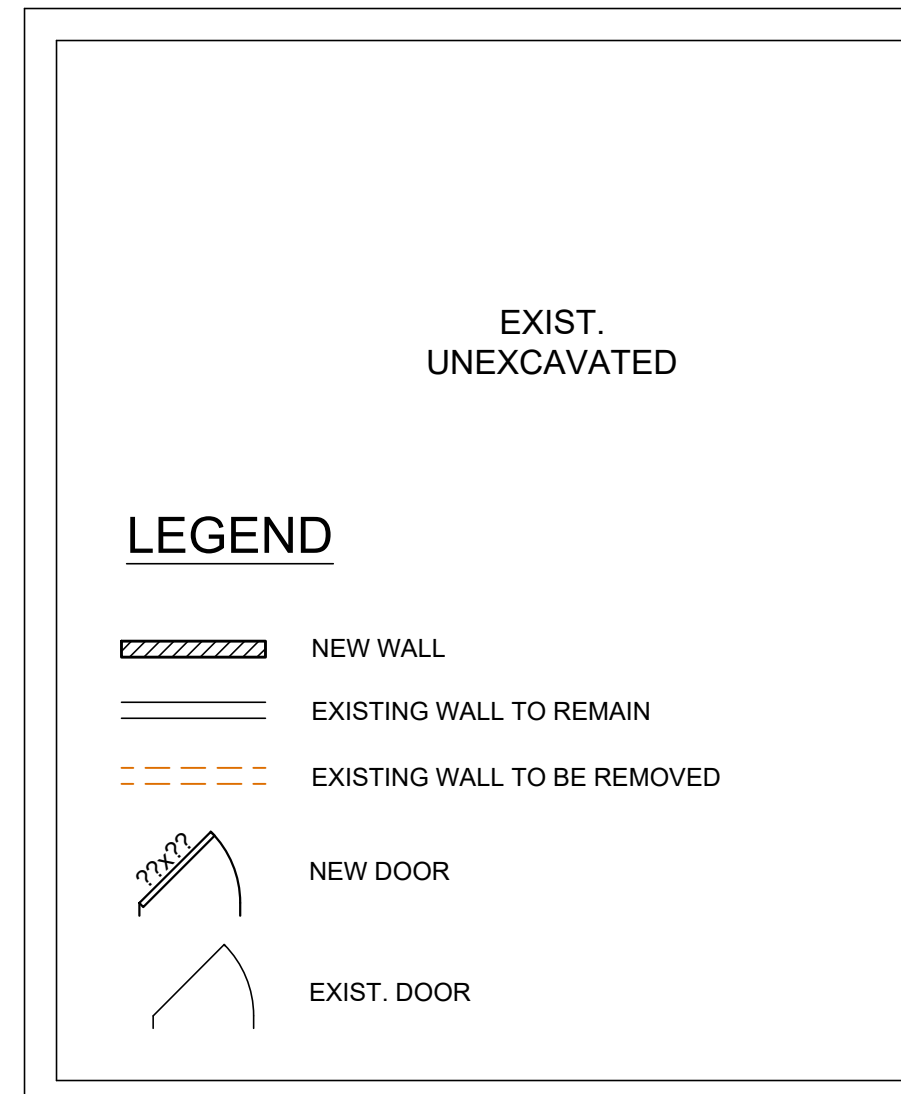
NOTE:
EXISTING SECOND FLOOR JOISTS TO REMAIN.
SET NEW FLOOR JOISTS ADJACENT OR ABOVE EXISTING (VERIFY FIELD)
REMOVE CONFLICTS AS NECESSARY TO ALLOW JOISTS TO BE SET.
PATCH ALL FIRST FLOOR SHEETROCK DAMAGED DURING CONSTRUCTION



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



BASEMENT / FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW DOOR
- EXIST. DOOR

WINDOW NOTES:

1. ALL WINDOWS AND PATIO DOORS SHOWN ON PLANS ARE ANDERSEN TILT-WASH 400 SERIES
2. ALL HARDWARE, COLORS, AND FINISHES TO BE SELECTED BY OWNER.
3. ALL WINDOWS AND PATIO DOORS TO HAVE REMOVABLE SCREENS.
4. EXTENSION JAMBS WHERE REQUIRED TO BE PROVIDED BY CONTRACTOR.
5. CONTRACTOR TO CONFIRM ALL SIZED BASED ON FIELD MEASUREMENTS PRIOR TO ORDERING.
6. ALL WINDOWS W/ SILLS LESS THAN 24" AFF & MORE THAN 72" ABOVE GRADE SHALL HAVE FALL PROTECTION DEVICES.

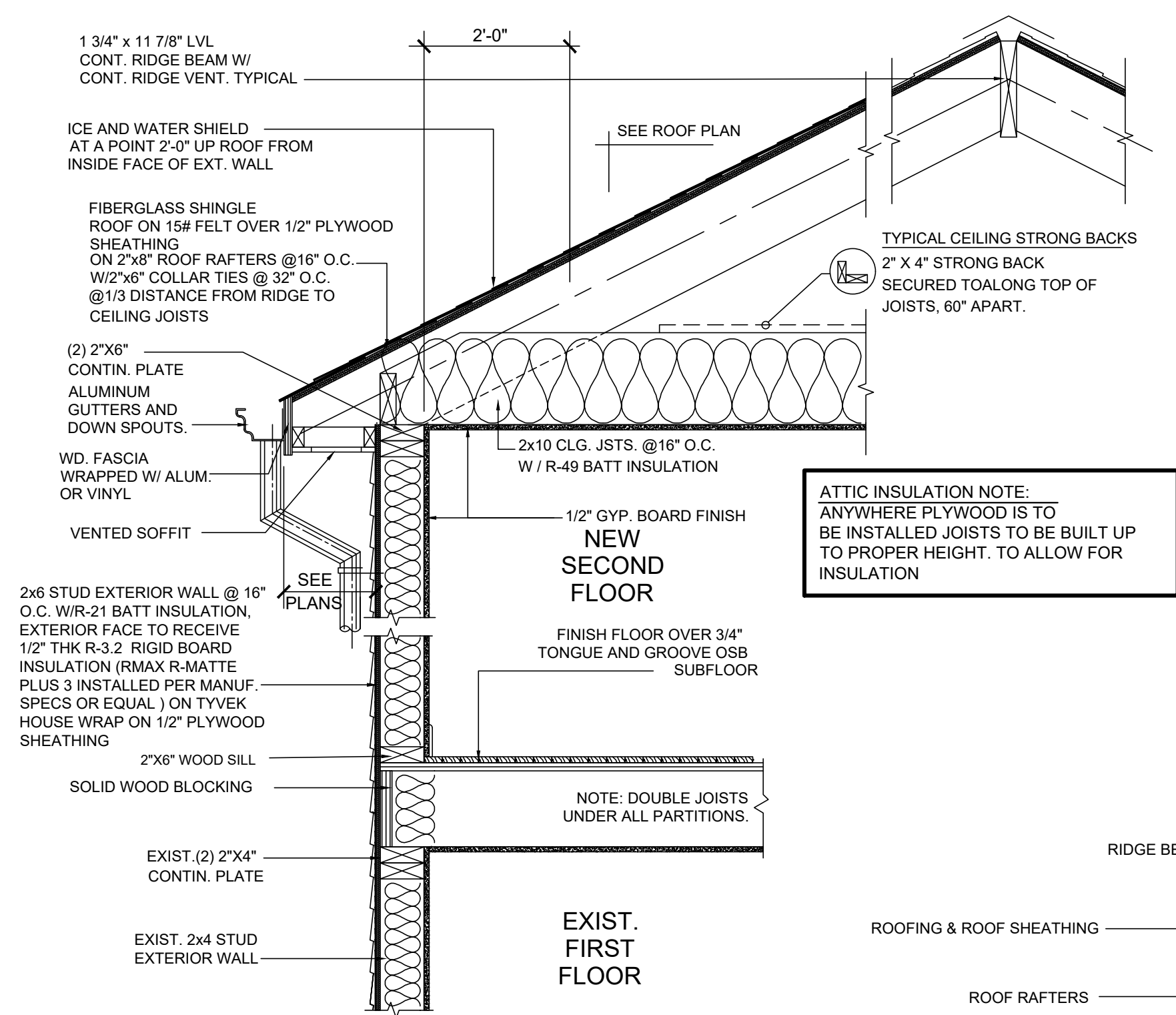
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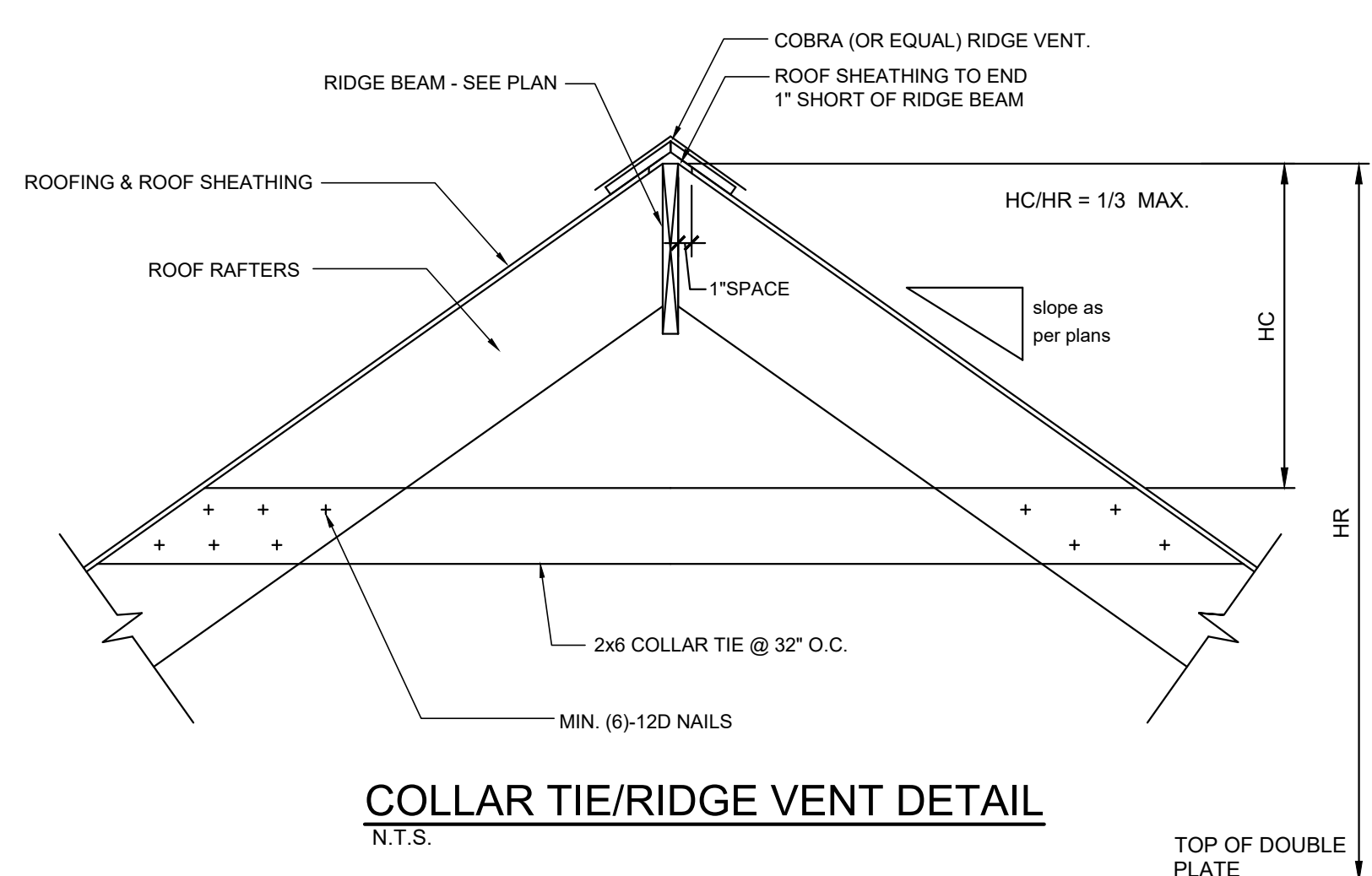
Addition & Alterations to:
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219 SPRUCE ST. MIDLAND PARK
BERGEN COUNTY NEW JERSEY
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FLOOR PLANS

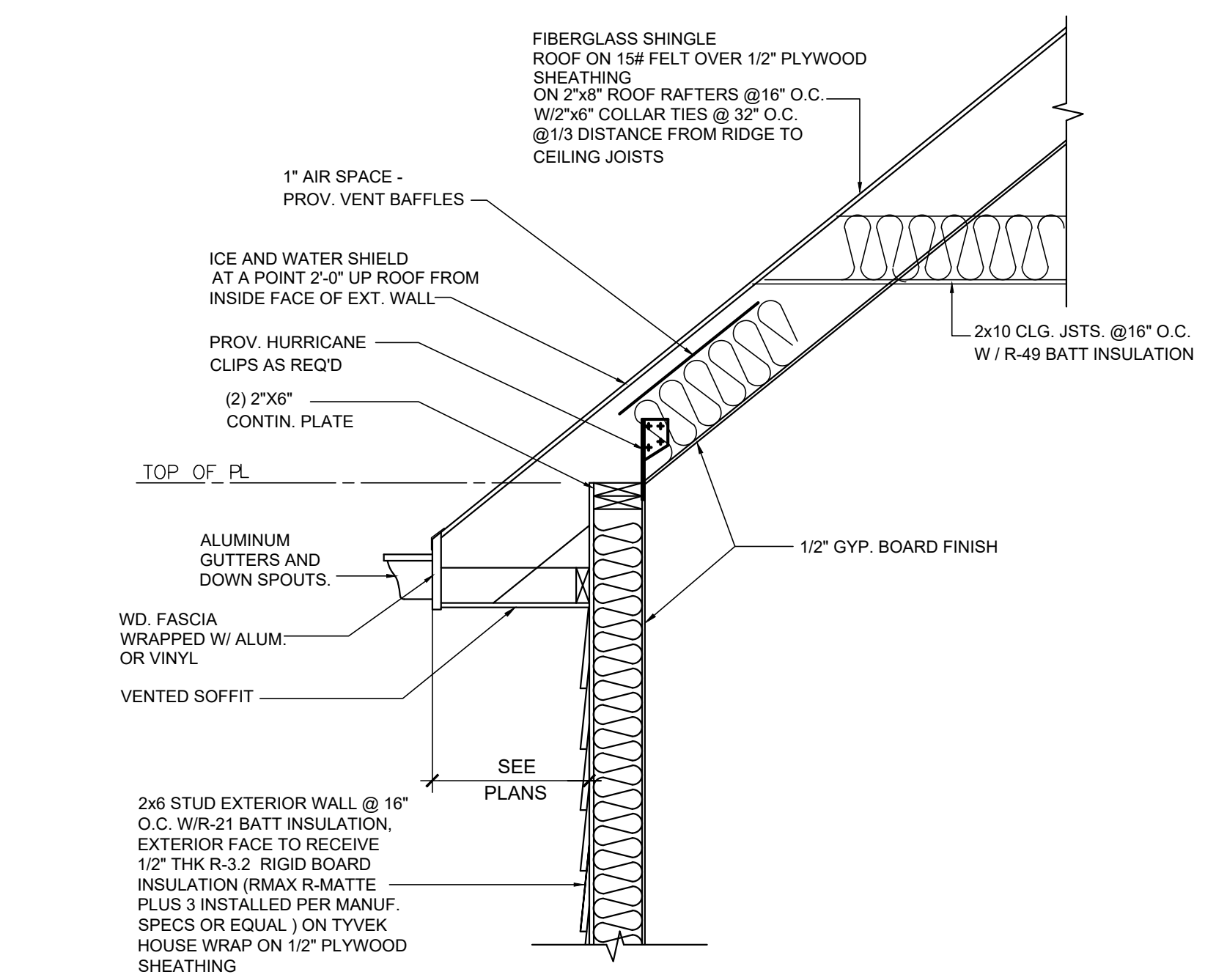


WALL SECTION
N.T.S.

ATTIC INSULATION NOTE:
ANYWHERE PLYWOOD IS TO BE INSTALLED JOISTS TO BE BUILT UP TO PROPER HEIGHT. TO ALLOW FOR INSULATION

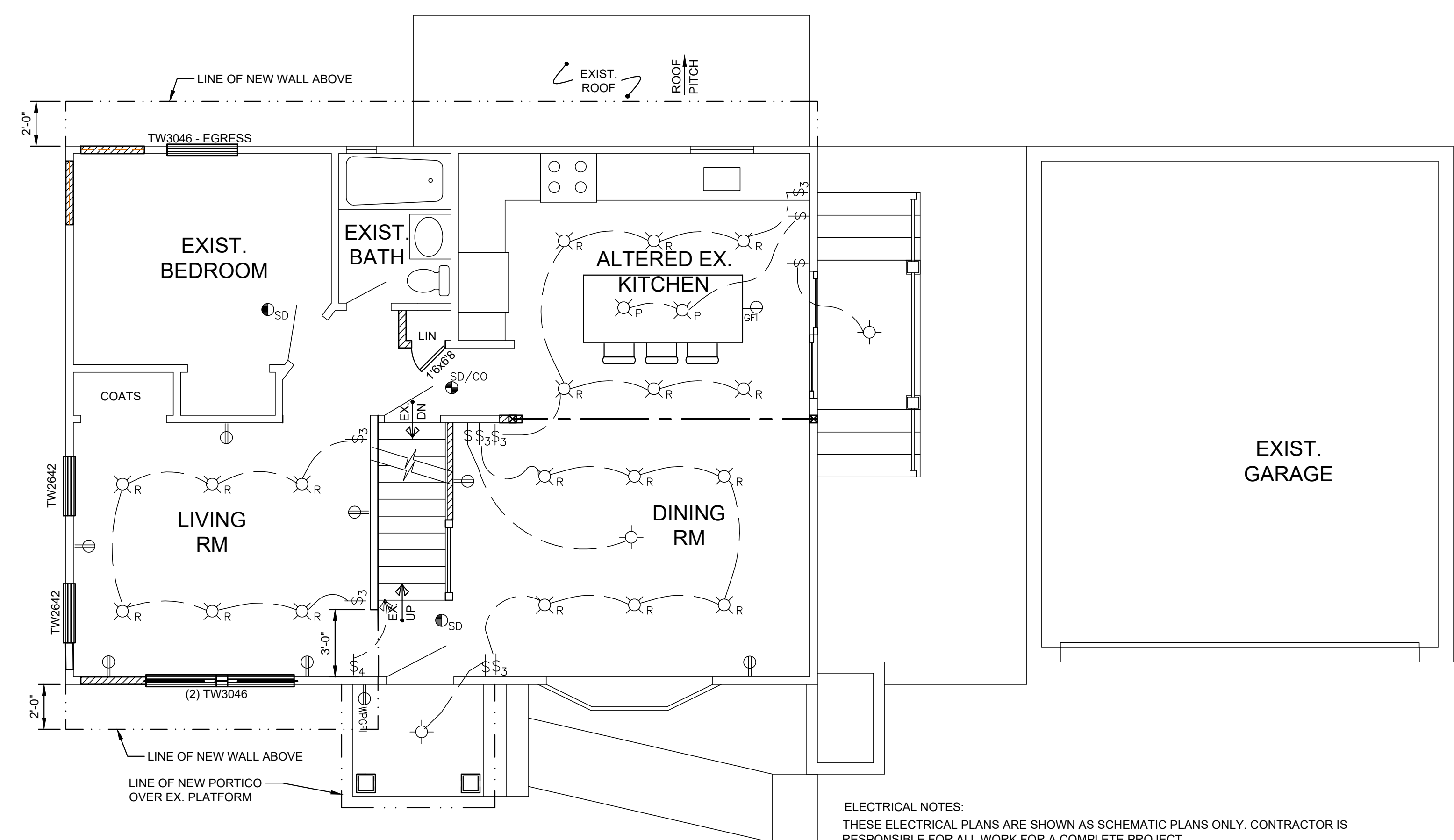


COLLAR TIE/RIDGE VENT DETAIL
N.T.S.



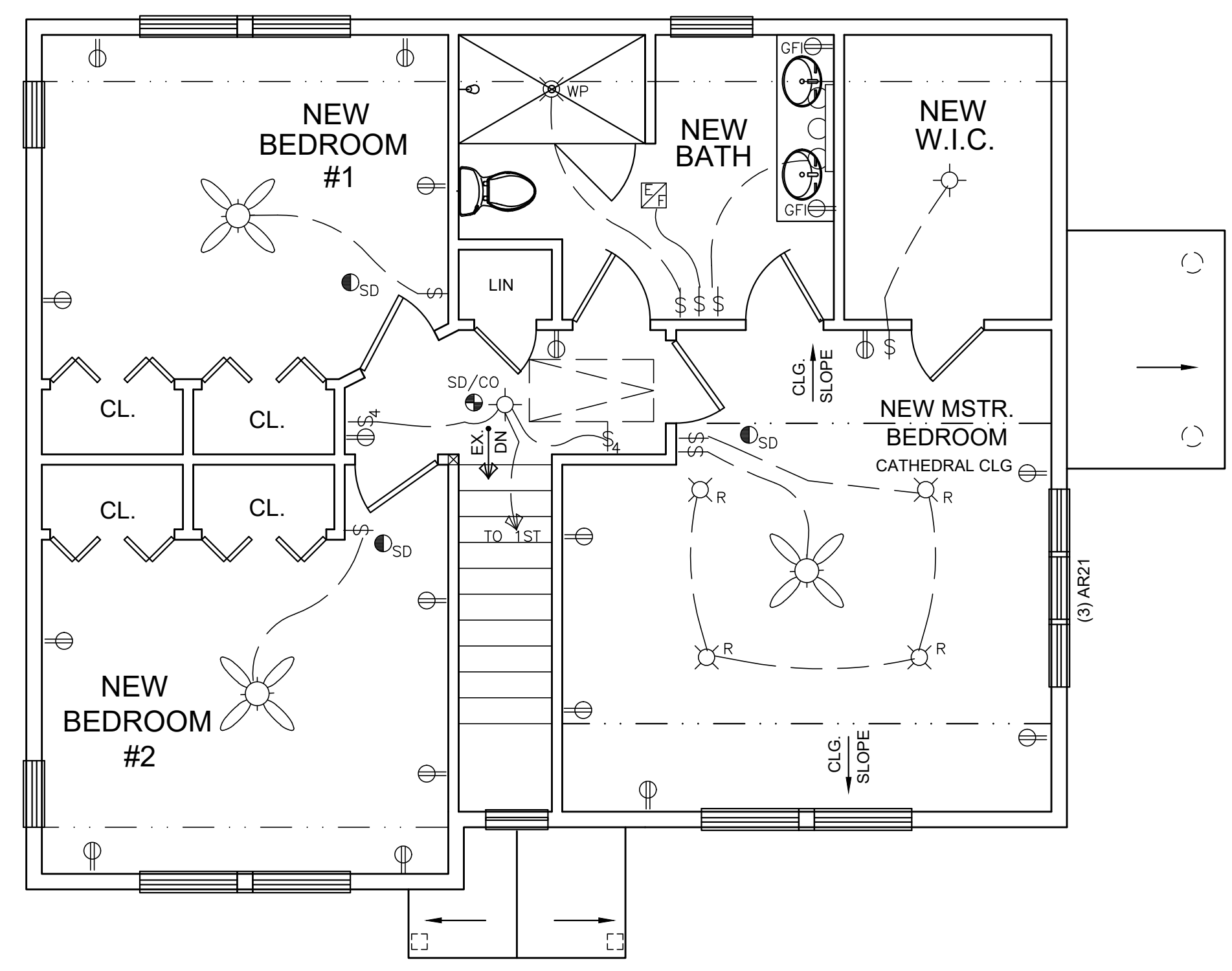
ROOF EAVE DETAIL @ CATHEDRAL CLG.
N.T.S.

- DUPLEX RECEPTACLE
- GROUND FAULT DUPLEX RECEPTACLE
- 220 VOLT RECEPTACLE
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- HEAT DETECTOR (INTERCONNECT)
- SMOKE DETECTOR (INTERCONNECT)
- SMOKE / CARBON MONOXIDE DETECTOR (INTERCONNECT)
- CEILING MNTD. LIGHT
- WALL MNTD. INCANDESCENT LIGHT (SCONCES)
- RECESSED CEILING LIGHT (HIGH HAT) OPERATED WITH DIMMER SWITCH
- WATERPROOF LIGHT FIXTURE
- PADDLE FAN WITH LIGHT BY OWNER. CONTR. SHALL INSTALL FAN BRACKET WITH JUNCTION BOX
- PENDANT LIGHT FIXTURE WITH STEM SUSPENDED FROM CEILING.
- CHANDELIER LIGHT FIXTURE - SUSPENDED FROM CLG.
- EXHAUST FAN
- EXHAUST FAN / LIGHT
- JUNCTION BOX
- VANITY WALL SCONCE
- ELECTRICAL WIRING CIRCUIT



FIRST FLOOR - ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:
THESE ELECTRICAL PLANS ARE SHOWN AS SCHEMATIC PLANS ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL WORK FOR A COMPLETE PROJECT.
THESE DRAWINGS ARE TO BE USED AS A GUIDE BY THE ELEG. CONTR. ACTUAL LOCATIONS & FINAL QUANTITIES ARE TO BE CONFIRMED WITH THE OWNER PRIOR TO START OF WORK.
LOCATIONS OF ALL CABLE, DATA AND TELEPHONE JACKS TO BE DETERMINED. CONTRACTOR TO PROVIDE AN ALLOWANCE FOR THE COMPLETE INSTALLATION OF THIS WORK.
ALL FIXTURES SHALL BE SELECTED BY OWNER.



SECOND FLOOR - ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

Addition & Alterations to:
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ELECTRICAL PLANS & DETAILS

REV	BY	DATE	COMMENTS

DATE: 01/25/2024
DRAWN BY: VJC
CHECKED BY: KM

A4

4 OF 5

GENERAL NOTES

Existing conditions measured are based on measurements to existing finished surfaces and visible conditions. All plans for an addition and/or alteration may require changes to the architect's original design as actual field conditions and dimensions reveal themselves during construction. The owner and contractor both acknowledge that the design may have to be modified to accommodate actual field conditions.

Contractor shall verify all conditions and dimensions in the field prior to commencing with the work, and shall notify the owner and/or architect of any discrepancies.

1.0 GENERAL CONDITIONS

- The contractor shall visit the premises and shall have satisfied himself of all existing conditions and shall be responsible to supply all material and labor to carry out the intent of the drawings. Any questions or misinterpretations shall be communicated to and clarified by architect.
- The Architect will not be held responsible where construction deviates from these drawings or written recommendations.
- The following, unless provided for in these drawings, are to be furnished by the Owner:
 - Site grading, drainage, utilities, building location, and construction outside of building proper.
 - Selection of interior material finishes, cabinetry and hardware. (See Finishes).
 - Standards of quality and accepted manufacturers for prefabricated items.
 - Design of heating, plumbing and electrical plans and coordination of same in construction unless shown on plans to be otherwise.
- All construction must conform to accepted good practice as defined by the latest edition of the State of New Jersey Uniform Construction Code, I.R.C. 2021 N.J. Edition and the F.H.A. minimum property standards. All are readily available to the trades.
- All construction to meet or exceed the latest edition of N.J. Rescheck.
- All stairs and railings must conform to the code in regard to riser height, tread depth and construction.
- Contractor shall maintain liability insurance of sufficient amount to cover at least 1-1/2 times the cost of construction.
- Contractor shall maintain site, clean and free of debris. Contractor shall remove all construction debris from site daily.
- Contractor shall be responsible for all dumpsters required for proper maintenance of site and bear cost for same.
- All products & materials to be installed as per manufacturers specifications in order to maintain full warranties.

2.0 SITE WORK

- Fill and grade around foundation as required. Provide top soil in all lawn areas affected by construction. Seed entire area covered with top soil and cover with.
- Repair asphalt driveway as required if damaged during construction.

3.0 CONCRETE, FOUNDATIONS AND SLABS

- Remove top soil, rubbish and other deleterious material from inside of building area before beginning work.
- Excavation for all footings shall be made to the depth of a minimum 3'-6" below finished grades, or deeper if local conditions require.
- Footings are designed for and shall be placed on firm undisturbed earth with a minimum bearing capacity of 3000 psf.
- Construct footings 4" wider on each side of foundation wall above, and a minimum of 8" thick - 6" wide, and 12" thick for chimneys. Add 6" to overall width of footings if they are not formed for pouring.
- Construct concrete floor slabs on grade, 4" thick over Visqueen vapor barrier and 4" thick minimum porous fill. Place all deep fills under concrete slabs in 12" thick layers compacted to minimum ASDC density of 98%. Do not pour slabs on grade in sections exceeding 1600 SF at one time.
- Where footings are stepped, bottoms shall not be sloped more than one foot vertically for each two feet horizontally.
- All concrete used shall be of no less than 3000 psi at 28 days strength, stone aggregate ready mix.

4.0 MASONRY

- Lay up all masonry units in a running bond and in a full bed of mortar.
- Construct foundation walls of concrete blocks with bottom course filled with concrete and keyed to footing below, and a minimum of 4" thick solid cap under framing member. No chaser type masonry block units shall be accepted in exterior or bearing walls. All concrete block masonry walls shall be reinforced with #4-@2' wall at every second course. Do not exceed 6'-0" of fill for unreinforced walls.
- Provide 8" thick solid brick or block masonry units under all wood or steel girder ends.
- Dampproof hollow block walls with 1/2" thick coat of portland cement parge applied to exterior face from cove to cap, and apply two coats of bituminous dampproofing over parge or concrete below grade.
- Provide prefabricated reinforced concrete lintels of required thickness for all masonry openings not exceeding 10'-0" in length. Steel angles of minimum 6" x 3-1/2" x 5/16" in size shall be used for brick veneer support. All lintels shall bear 8" minimum at each end, unless otherwise detailed on drawings.
- Provide 1/2" diameter anchor bolts or galvanized straps for wood plates as described in Sec. 5.

6.0 WOOD FRAMING

- All lumber and its fastenings shall conform to the National Design Specification recommended by the N.L.D.A., and code standards listed under general conditions.
- All framing lumber shall be coast region douglas fir "Construction Grade" with a minimum fiber stress rating of 1200 psi.
- All exterior wall sheathing and subflooring shall be of exterior grade plywood type C-D Douglas Fir plywood, agency graded. Subfloor shall be tongue and groove and glued and nailed to joists.
- Set all floor joists, ceiling joists and wood beams with natural camber up. Ends apposed over bearing points shall be securely spiked together. Provide double floor joists under all partitions running parallel above and at all floor penetrations. Provide double rafters at hips and valleys and at all roof penetrations.
- Provide standard wood or metal cross bridging within all floor wood joist construction at a maximum 2'-0" on center, and solid continuous blocking at joist ends. Provide strong backs above flat ceiling. Provide collars and hangers as required.
- Anchor sills and plates to masonry walls below with a minimum of 1/2" x 18" long steel hooked bolts or galvanized straps, spaced at a maximum of 6'-0" on center 1'-0" from each end. Bolts shall be set solid in concrete. Provide termite shield or sill seal under wood plates set over masonry.

Provide headers for openings in frame walls as follows:

 - For openings from 2' to 3', use 2 - 2" x 6".
 - For openings from 3' to 5', use 2 - 2" x 8".
 - For openings from 5' to 7', use 2 - 2" x 10".
 - For openings from 7' to 8', use 2 - 2" x 12".
- Spike headers together with spacers between 2" x 4's and, for openings 8' in length and over, provide double studs under both bearing ends.
- Wood stairs shall be constructed as follows:

Stringers: Clear softwood with effective depth of minimum 5-1/2".

Treads: Hardwood for finished stairs, soft wood for basement stairs (4" minimum + 1" nosing total 10" width)

Risers: Softwood 8-1/4" height, maximum
- Provide 36" high guardrails (unless otherwise noted on plans) with 4" maximum openings on all decks, balconies, raised platforms and stairs 30" above grade. Provide graspable handrails of 1 1/2" x 2 3/4" @ 30" - 36" high on at least one side of each stairs with more than three risers.

- All drilling in floor joists and wood beams for electrical wires, plumbing lines, etc., shall be made at its center line (neutral axis) or above it. If any wooden member should be drilled below neutral axis, care must be taken not to affect its structural strength. If, however, any damage to such structural member should occur, it must be properly reinforced with additional wood members as necessary.
- Floor Loading Live Load 40 #/S.F.

Finish 4 500 Floor 3 #/S.F.

Ceiling 2 #/S.F.

Collateral 3 #/S.F.

Joists 3 #/S.F.

Total = 50 #/S.F. 2 #/S.F.
- Bending Stresses: Joists & Rafters - Doug-Fir, FB = 1400 #/Sq.inch

Studs - Hem-Fir, FB = 125 #/Sq.inch
- All structural wood members exposed to weather or in contact with masonry shall be A.C.Q. (Alkaline Copper Quaternary) Lumber or approved equal. All fasteners (hangers, anchors, nails, etc.) to be hot dipped galvanized, stainless steel, or triple coated zinc polymer. No non-treated wood is to be used. No aluminum flashing to come in contact with A.C.Q. Lumber. Copper flashing is acceptable.

7.0 THERMAL AND MOISTURE PROTECTION

- All exterior walls and roofs shall be insulated with foiled or kraft back fiber glass insulation with minimum R-value as per 2020 IECC residential buildings (unless otherwise noted on drawings). Minimum R values are as follows:

Ceilings: R-30

Windows & Doors: U-0.35

Walls: R-20

Floors: R-30

Foundations: R-10
- Provide Tyvek house wrap over all wall sheathing. Tape all joints. Provide 15# builders paper on all roof sheathing.
- Provide exterior siding of type and style as shown on drawings or as specified by owner.
- Roofing Shingles shall be 240# or greater fiberglass roofing shingles in color and style as selected by the Owner, unless otherwise noted on the drawings.
- Provide aluminum or copper flashing at all intersections of roof and exterior walls and as indicated on drawings. Provide rubberized ice dam shield at all roof eaves and valleys.
- Provide Visqueen vapor barrier under all slabs on grade.
- Provide venting for all attic and roof areas.
- Provide insulation between floor and unheated areas of R=20 minimum.
- Provide corrosion resistant flashing at the top and sides of all windows, doors, etc. & roof openings & at the intersection of chimneys masonry and/or wood construction & frame walls. Approved water resistant sheathing and caulking may be used at top and sides to guarantee leakproof.
- Flashing against a vertical sidewall shall be by the step-flashing method; the flashing shall be a minimum of 4 inches high & 4 inches wide at the end of the vertical sidewall. The step flashing shall be turned out in a manner that directs water away from the wall.

8.0 DOORS AND WINDOWS

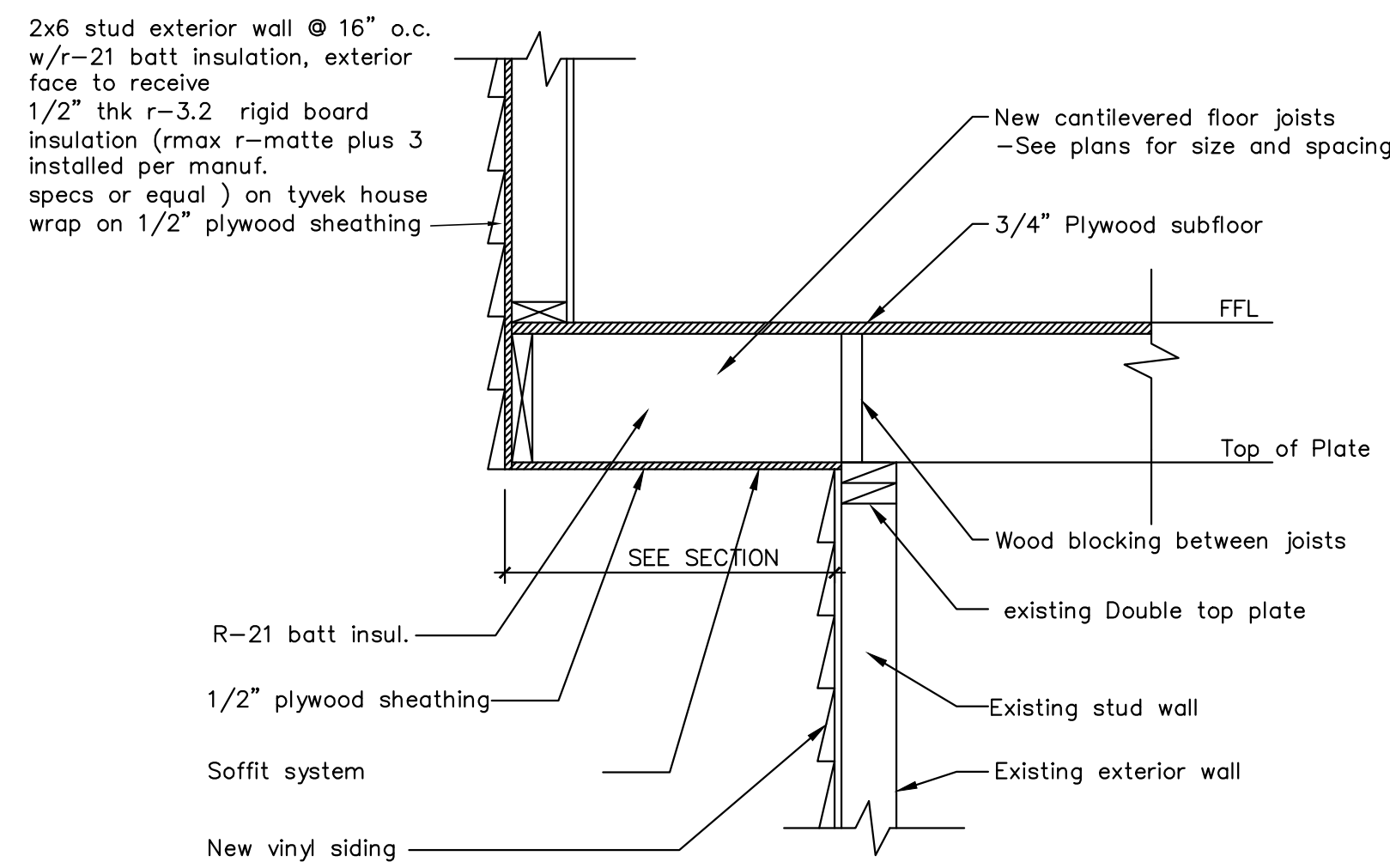
- Unless otherwise noted on plans, all interior doors shall be hollow core Masonite 6-panel colonial doors 6'-8" high.
- All exterior doors shall be insulated metal, fiberglass, or solid core wood panel doors in style and width as shown by 6'-8" high.
- All glass doors shall be insulated double pane tempered glass with thermal break in frame.
- All window sizes are based on Andersen model numbers unless otherwise noted on drawings.
- All doors & windows to be installed w/ formable sill flashing, house wrap tape & drip cap as per window, door & house wrap mfg. specifications.
- Provide standard builders hardware for all new doors; style and finish of hardware shall be as selected by the Owner.
- Glazing in doors, skylights, windows at bathrooms, and windows within 18" of floors and within 24" of doors shall be tempered.
- All windows are to comply with the International Residential Code 2021 N.J. Edition.

9.0 FINISHES

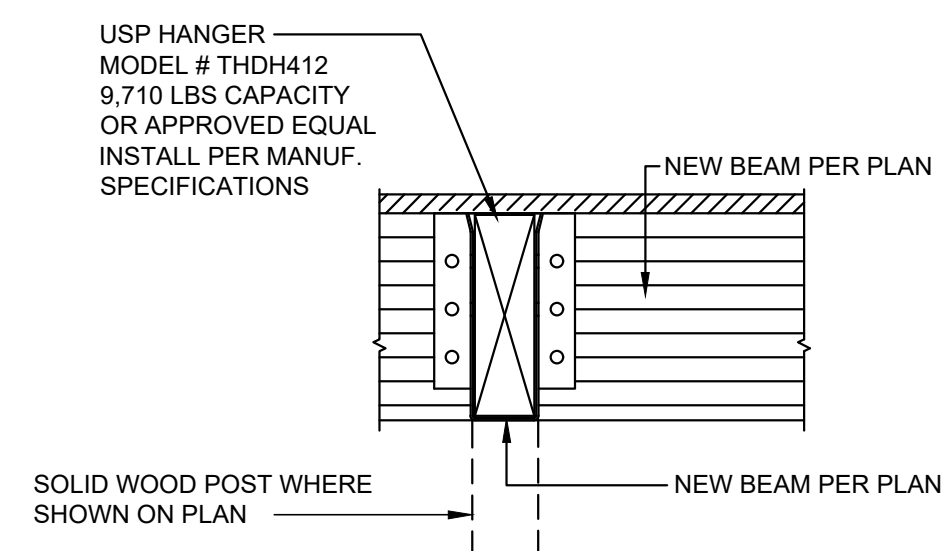
- All gypsum board shall be 1/2" thick standard gypsum wall board unless otherwise noted on drawings.
- All gypsum board in bathrooms and wet areas shall be 1/2" moisture resistive wall board.
- All gypsum board shall be taped and spackled, minimum of 3 coats, as per manufacturer's specification. Prime and painted 2 coats of Latex flat paint. Colors as selected by Owner.
- Floors of all bathrooms shall be finished with thinsert ceramic tile of color and style as selected by Owner.
- All trim work to be stain grade in soft wood as selected by Owner.
- Carpet and wall coverings are not in contract.
- Contractor to submit price for cabinets and vanities as shown on plans based on a linear footage. Style and finishes of cabinets shall be as selected by the owner.

10.0 MECHANICAL AND ELECTRICAL

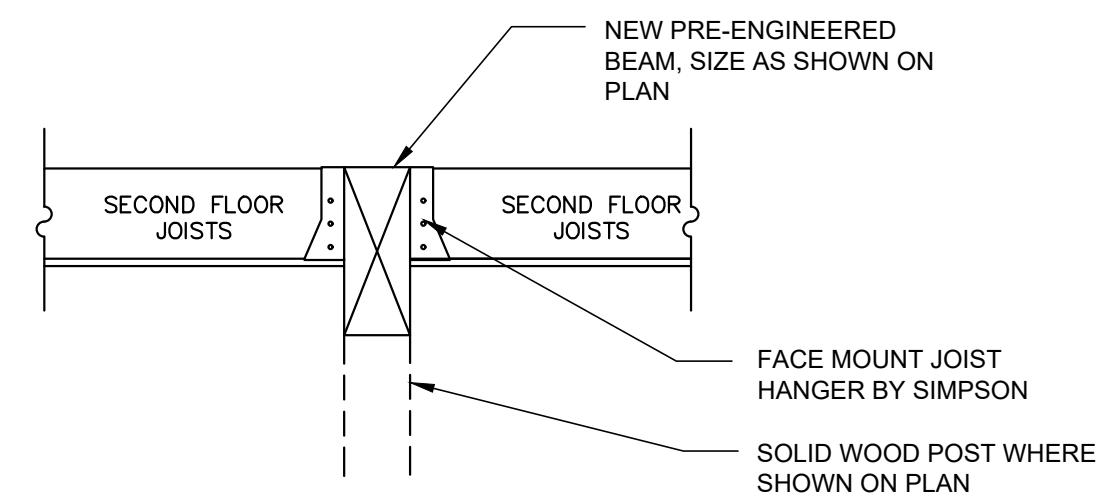
- Provide and install heating system as required to service entire house, provide zones as directed by owner. Provide air-conditioning system. The duct system shall be tested and the air leakage out of ducts must be kept to an acceptable maximum level. Testing is not required if all ducts are inside the building envelope (for example in heated basements), though the ducts still have to be sealed.
- All plumbing work shall be in accordance with all applicable codes. Use PVC schedule 40 for waste lines and vents. Use copper for water lines.
- All plumbing fixtures shall be Kohler or American Standard; color and model as selected by Owner. Provide non-scaling faucets by Delta or Moen for each fixture.
- All hot water pipes in crawl spaces shall be insulated with pipe insulation.
- All electrical work shall be in accordance with all applicable codes.
- Provide 120 V duplex receptacle outlets, switches, and lighting outlets at locations as shown on plans and as directed by Owner.
- All outlets in wet areas to be GFI.
- Install light fixtures as selected by the owner in locations as shown on plans. 80% of the lighting (lamps, bulbs, tubes, etc.) in a building have to be energy efficient. Cost of hung light fixtures by owners. All ceiling fan locations to have reinforced boxes.
- Exhaust fan/lights shall be ducted to exterior and shall be manufactured by Lutron or approved equal.
- Provide minimum of one (1) hard-wired ionization smoke detector per floor and a maximum of 10 feet from bedrooms. Provide one smoke detector in each bedroom. All smoke detectors to be a.c. wired, battery backup, ionization types as per code.
- Provide carbon monoxide detectors one (1) per floor and one (1) at a maximum of 10'-0" from each bedroom. Devices shall comply with UL 2034.



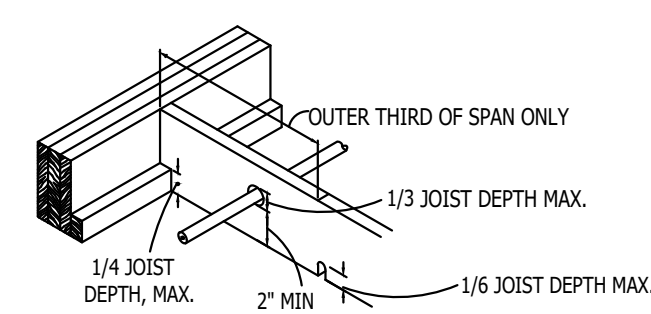
CANTILEVER FLOOR DETAIL
N.T.S.



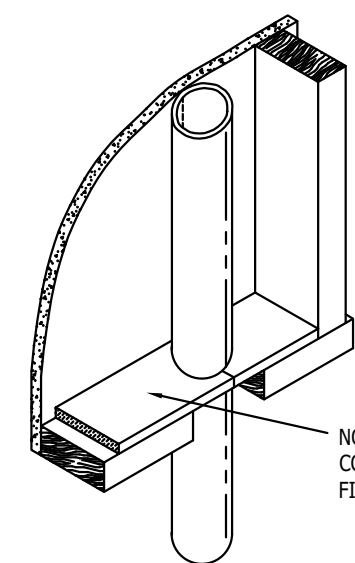
BEAM TO BEAM CONNECTION DETAIL
N.T.S.



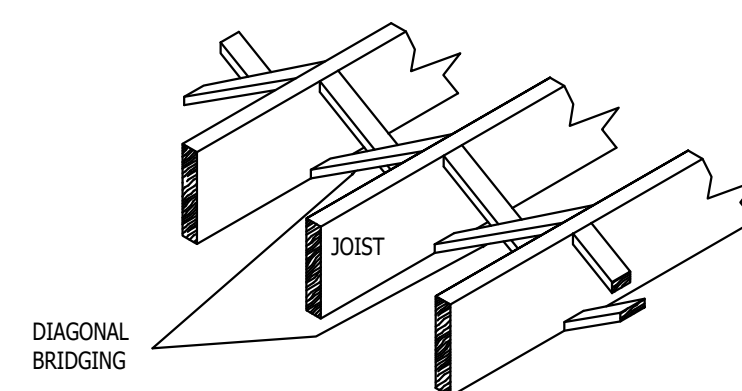
JOIST TO BEAM BEARING DETAIL
N.T.S.



PENETRATION @ JOIST/RAFTER

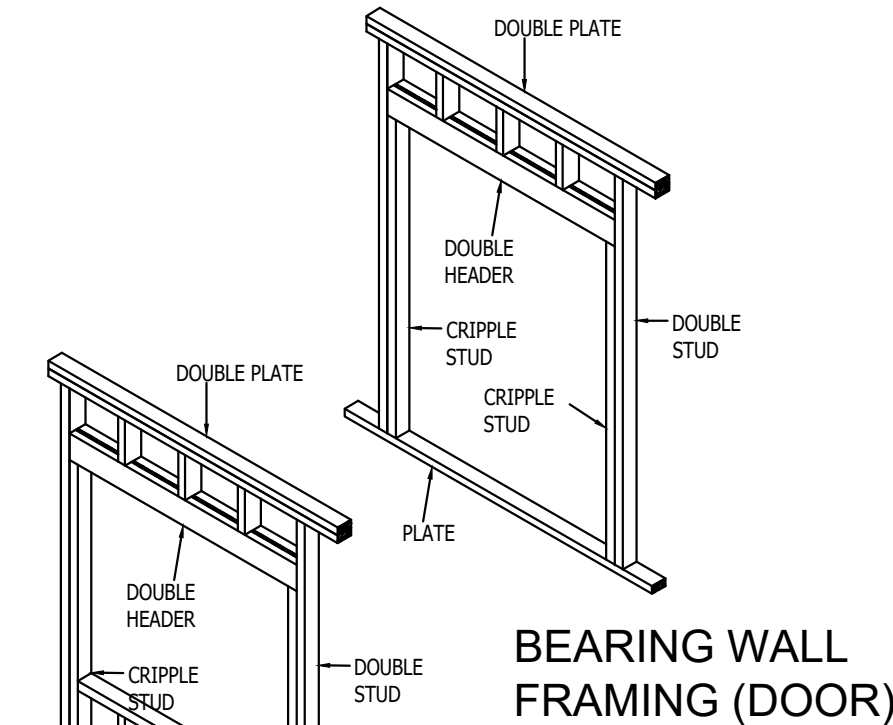


FIRESTOPPING @ PIPE PENETRATION



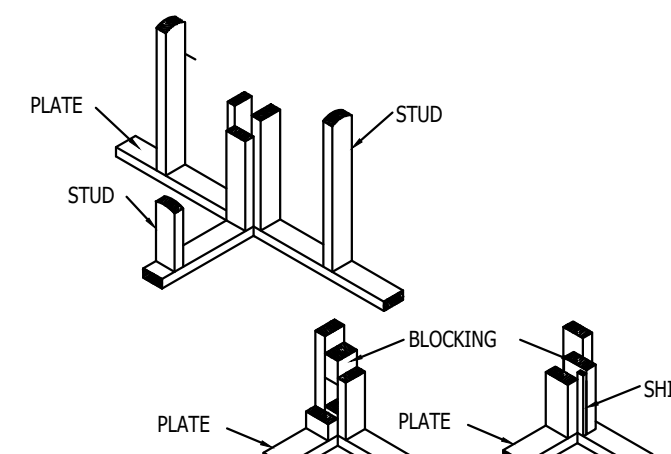
DIAGONAL BRACING @ JOIST/RAFTER

FRAMING DETAILS
N.T.S.

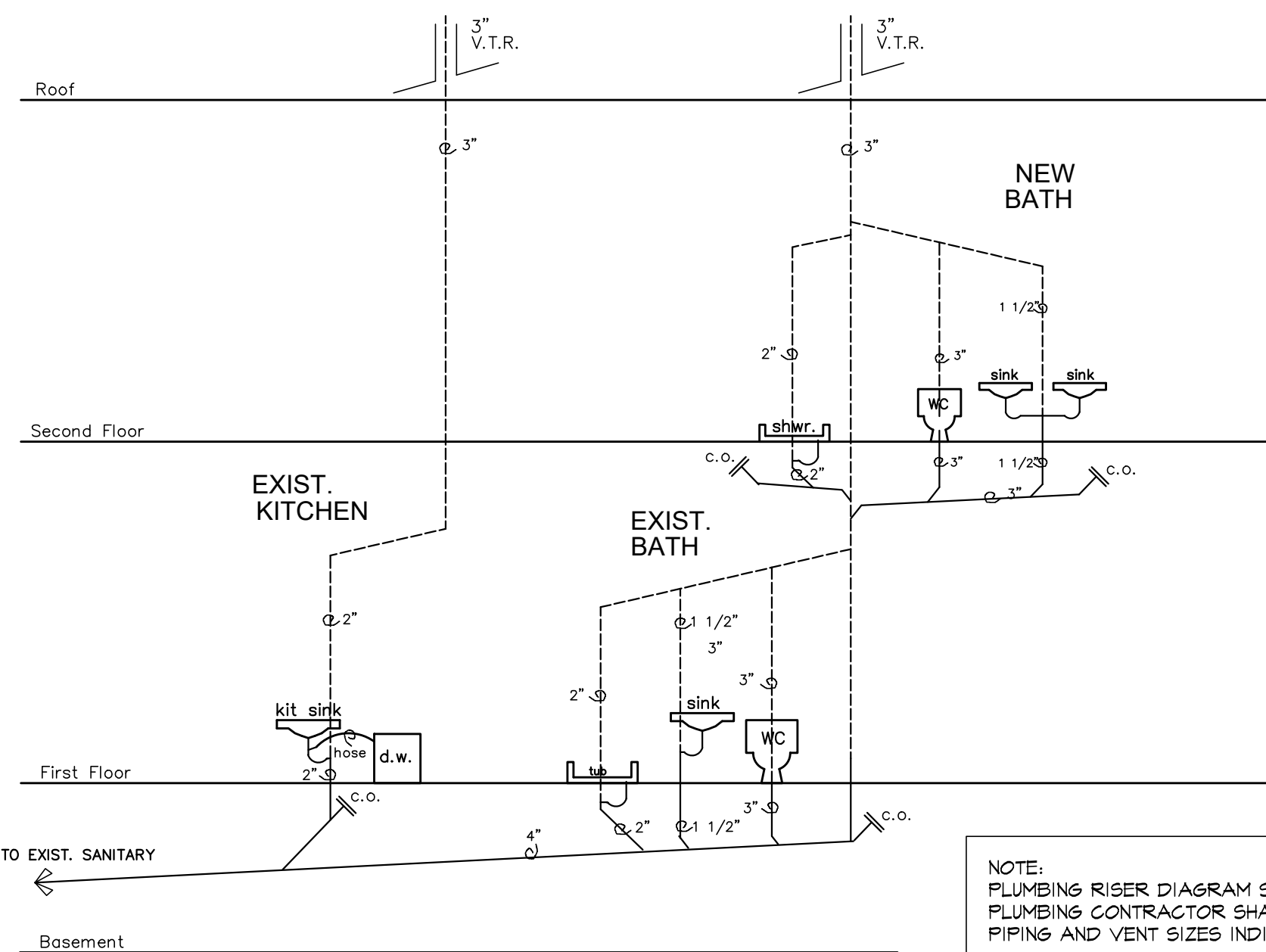


BEARING WALL FRAMING (DOOR)

BEARING WALL FRAMING (WINDOW)



INTERSECTING WALL FRAMING



NOTE: PLUMBING RISER DIAGRAM SHOWN IS SCHEMATIC; PLUMBING CONTRACTOR SHALL VERIFY ALL PIPING AND VENT SIZES INDICATED

PLUMBING RISER DIAGRAM
SCALE: NONE

PLUMBING CONTRACTOR TO VERIFY FIELD CONDITION AND NOTIFY OF ANY DISCREPANCIES TO THE OWNER. PLUMBING RISER REFLECTS SUPPLY CONDITIONS FOR AREA OF WORK AND ASSUMED PLUMBING FACILITIES.

Addition & Alterations to:
LEZOTT RESIDENCE
219 SPRUCE ST. MIDLAND PARK
BERGEN COUNTY NEW JERSEY
Block: 10.20 Lot: 4

THIS DRAWING NOT VALID UNLESS SEALED BY ARCHITECT
SEAL & SIGNATURE
LIC#ASE 11795

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JKM229@MSK.COM

REV#	BY	DATE	COMMENTS

DATE: 01/25/2024
DRAWN BY: VC
CHECKED BY: KM

GENERAL NOTES & RISER DIAGRAM

- NOTES:
- FINAL PLUMBING SCHEMATIC AS PER LICENSED NJ PLUMBER
 - ALL WORK TO BE PERFORMED AND SYSTEM TO BE DESIGNED IN COMPLIANCE WITH THE CURRENT PLUMBING CODE.
 - UNLESS OTHERWISE NOTED, PLUMBING FIXTURES SELECTED BY OWNER
 - ALL SANITARY LINES 1/4": 1'-0" MAX.
 - CONNECT DRAIN TO EXISTING MUNICIPAL SEWER SYSTEM, GC TO COORDINATE.
 - SCH. 40 PVC FOR ALL SEWERS AND VENTS
 - THICK RIGID COPPER WATER SUPPLY
 - PROVIDE RECIRCULATING LINE
 - ALL TRAPS SHALL BE P-TYPE, NOT S-TYPE.