

PRELIMINARY & FINAL SITE PLAN GODWIN AVE SUPPORTIVE HOUSING

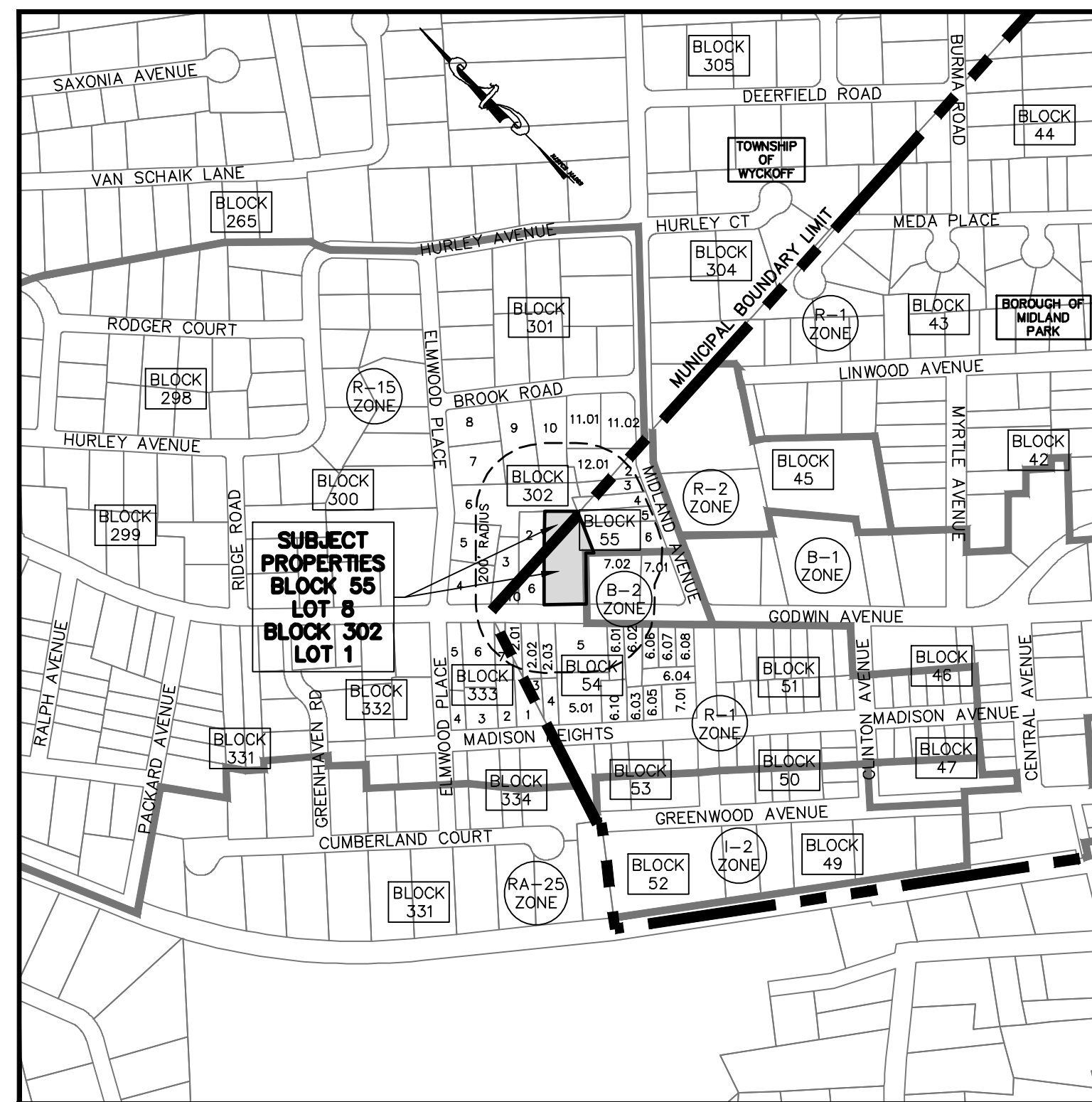
#714 GODWIN AVENUE BLOCK 55, LOT 8 BOROUGH OF MIDLAND PARK BLOCK 302, LOT 1 TOWNSHIP OF WYCKOFF BERGEN COUNTY - NEW JERSEY

LIST OF PROPERTY OWNERS WITHIN 200'

| | | | |
|---|---|---|--|
| BLOCK 54, LOT 1 VALENTINE, RICHARD M & JILL A 111 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 55, LOT 3 SCHPER, SAMUEL D. & MARY J. 101 MIDLAND AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 5 MOTZ, JEREMY & LISA 146 ELMWOOD PLACE WYCKOFF, NJ 07481 | BLOCK 333, LOT 1 CYNE JR., JEROME J 2 MADISON HEIGHTS WYCKOFF, NJ 07481 |
| BLOCK 54, LOT 2.01 O'DONNELL, KEVIN C & ANNA L 719 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 55, LOT 4 OLSEN, MICHAEL H & CAROL A. 97 MIDLAND AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 6 ROMANO, ANTHONY & MAUREEN LYONS 140 ELMWOOD PLACE WYCKOFF, NJ 07481 | BLOCK 333, LOT 6 VALENTINE, RICHARD M & JILL A 111 GODWIN AVENUE WYCKOFF, NJ 07481 |
| BLOCK 54, LOT 2.02 TONEY, SAKISHA & NEWMAN, BASILLE 717 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 55, LOT 5 KAZLAU, JUDITH A 93 MIDLAND AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 3 FLOREY, TARA F & PHILLIP 110 GODWIN AVENUE WYCKOFF, NJ 07481 | PUBLIC UTILITIES PSE&G MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA 16B NEWARK, NJ 07102 |
| BLOCK 54, LOT 2.03 BOUMA, CORRIE 715 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 55, LOT 6 STERNITZKE, GLENN C 89 MIDLAND AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 2 PASTOR, FRANK & CAROLYN 720 GODWIN AVENUE MIDLAND PARK, NJ 07432 | CABLEVISION C/O CORPORATE SECRETARY 40 POTASH ROAD NEWARK, NJ 07436 |
| BLOCK 54, LOT 5 SMITH, JOICE H 10 WEST PAMPARO GLEN ROCK, NJ 07452 | BLOCK 55, LOT 7.01 DIRMAN, INC 686 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 1 ALI, REZA MEMAR 260 COLUMBIA AVENUE, SUITE 14 FORT LEE, NJ 07024 | BERGEN COUNTY PLANNING BOARD ONE BERGEN COUNTY PLAZA HACKENSACK, NJ 07601 |
| BLOCK 54, LOT 5.01 W. BERGEN MENTAL HEALTHCARE INC 120 CHESTNUT STREET RIDGEWOOD, NJ 07450 | BLOCK 55, LOT 7.02 NANDOR, INC 686 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 9 DUICA, JEFFREY & JENNIFER 15 BROOK ROAD WYCKOFF, NJ 07481 | VILLAGE OF RIDGEWOOD WATER DEPARTMENT - DIRECTOR 131 N MAPLE AVENUE RIDGEWOOD, NJ 07450 |
| BLOCK 54, LOT 6.01 WANAMAKER, DONALD & KATHLEEN 695 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 55, LOT 8 714 GODWIN AVENUE LLC C/O A. MEMAR 260 COLUMBIA AVENUE - STE 14 FORT LEE, NJ 07024 | BLOCK 302, LOT 10 STEPHEN, FRANK C (V) & RUTH E 11 BROOK ROAD WYCKOFF, NJ 07481 | VERIZON ENGINEERING MANAGER, FRANK SCUZO 114 PATERSON STREET PATERSON, NJ 07501 |
| BLOCK 54, LOT 6.02 GARNER, JASON & DANIELLE 693 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 55, LOT 9 PASTOR, FRANK & CAROLYN 720 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 11.01 STULIJ, ANDREI & EKATERINA 7 BROOK ROAD WYCKOFF, NJ 07481 | |
| BLOCK 54, LOT 6.06 HOEK, HELEN DE ROSE 709 GLENDALE ROAD FRANKLIN LAKES, NJ 07417 | BLOCK 55, LOT 10 FLOREY, TARA F 110 GODWIN AVENUE WYCKOFF, NJ 07481 | BLOCK 302, LOT 12.01 NICOL, JOHN C 123 MIDLAND AVENUE WYCKOFF, NJ 07481 | |
| BLOCK 55, LOT 2 NICOL, JOHN C 123 GODWIN AVENUE MIDLAND PARK, NJ 07432 | BLOCK 302, LOT 4 QUINNES, STEPHEN & DIANE 152 ELMWOOD PLACE WYCKOFF, NJ 07481 | BLOCK 302, LOT 13 OLSEN, MICHAEL & ZIMMER, CAROL 97 MIDLAND AVENUE WYCKOFF, NJ 07481 | |

NOTES AND REFERENCES

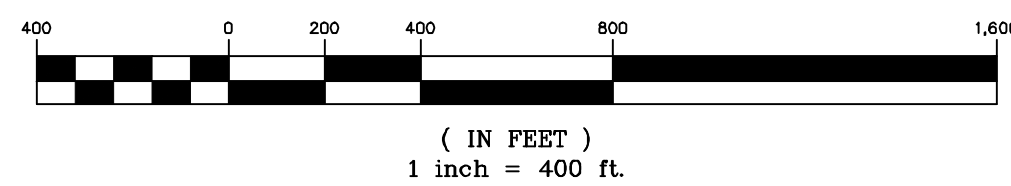
- OWNER: 714 GODWIN AVENUE, LLC
C/O MEMAR
260 COLUMBIA AVENUE, SUITE 14
FORT LEE, NJ 07024
- APPLICANT: NOUVILLE, LLC
P.O. BOX 853
FRANKLIN LAKES, NJ 07417
- THESE PLANS HAVE BEEN PREPARED FOR DEVELOPMENT OF PROPERTY KNOWN AS #714 GODWIN AVENUE. THE SUBJECT PROPERTY IS PARTIALLY LOCATED IN BOTH THE BOROUGH OF MIDLAND PARK (BLOCK 55, LOT 8) AND THE TOWNSHIP OF WYCKOFF (BLOCK 302, LOT 1). THE APPLICANT PROPOSES TO CONSTRUCT A THREE AND A HALF STORY, FOUR (4) UNIT AFFORDABLE HOUSING BUILDING AND ASSOCIATED IMPROVEMENTS. ALL OF THE PROPOSED IMPROVEMENTS SHALL BE LIMITED TO THE PORTION OF THE PROPERTY WITHIN THE BOROUGH OF MIDLAND PARK. THERE IS NO DEVELOPMENT PROPOSED WITHIN THE TOWNSHIP OF WYCKOFF.
- THE SUBJECT PROPERTY IS 0.837 ACRES IN SIZE. BLOCK 55, LOT 8 HAS FRONTAGE ALONG GODWIN AVENUE (BERGEN COUNTY ROUTE 84). BLOCK 302, LOT 1 HAS NO FRONTAGE ON ANY PUBLIC (OR PRIVATE) ROAD.
- UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. FIELD MARKOUT CAN BE REQUESTED BY CALLING 1-800-242-1000.
- BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY DYKSTRA WALKER DESIGN GROUP IN MARCH 2022. HORIZONTAL DATUM IS NAD 83 AND VERTICAL DATUM IS NAVD 88.
- THERE ARE NO FLOODPLAINS OR FLOODWAYS ON THE SUBJECT PROPERTY PER FIRM MAPPING.
- FRESHWATER WETLANDS SHOWN HEREON DELINEATED BY DYKSTRA WALKER DESIGN GROUP IN MARCH 2022 AND SUBJECT TO VERIFICATION BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP). THE WETLAND TRANSITION AREAS ARE EXPECTED TO BE FIFTY (50) FEET. THE APPLICANT HAS SUBMITTED AN APPLICATION FOR A LETTER OF INTERPRETATION TO THE NJDEP AND SHALL SUPPLY THE BOARD WITH THE DEPARTMENT'S VERIFICATION UPON RECEIPT.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE BOROUGH OF MIDLAND PARK AND OSHA SAFETY STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE.
- ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ANY DESIGN ADJUSTMENTS AS MAY BE REQUIRED DUE TO FIELD CONDITIONS.
- THE NET INCREASE OF IMPERVIOUS SURFACE FOR THIS PROJECT IS 5,875 SQUARE FEET (0.135 ACRES) INCLUDING A NET INCREASE OF 2,500 SQUARE FEET (0.057 ACRES) OF MOTOR VEHICLE SURFACE AND THE TOTAL AREA OF DISTURBANCE IS 0.35 ACRES. THIS PROJECT IS NOT A MAJOR STORMWATER PROJECT BASED ON THE DEFINITION AT N.J.A.C. 7-8-1.2. THE CAPACITY OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED TO HANDLE THE VOLUME GENERATED BY THE 10-YEAR, 60-MINUTE STORM EVENT. THE IMPERVIOUS AREA TRIBUTARY TO THE SYSTEM IS 6,340 SQUARE FEET WHICH IS GREATER THAN THE NET INCREASE OF THE IMPERVIOUS SURFACES ON-SITE OF 5,875 SQUARE FEET.
- A DESIGN EXCEPTION IS REQUIRED FROM SECTION 32-6.2.b.2 FOR OFF-STREET PARKING LOCATED WITHIN THE REQUIRED TWENTY-FIVE (25) FOOT FRONT YARD SETBACK.
- A USE VARIANCE IS REQUIRED FROM SECTION 34-4.1.a FOR PROVIDING A MULTI-UNIT BUILDING IN THE RESIDENTIAL ZONE (R-1) WHERE NONE ARE ALLOWED.
- A VARIANCE IS REQUIRED FROM SECTION 34-4.3.a FOR NOT PROVIDING AT LEAST ONE (1) ENCLOSED GARAGE FOR EACH DWELLING UNIT ERRECTED.
- A VARIANCE IS REQUIRED FROM SECTION 34-4.5.a FOR PROVIDING A BUILDING HEIGHT OF THREE AND ONE-HALF (3½) STORIES WHERE THE MAXIMUM BUILDING HEIGHT ALLOWED IS TWO AND ONE-HALF (2½) STORIES.
- A VARIANCE IS REQUIRED FROM SECTION 34-4.5.h.1 FOR PROVIDING A CURB CUT WIDTH OF FORTY-EIGHT (48) FEET WHERE THE MAXIMUM CURB WIDTH ALLOWED IS TWENTY (20) FEET.
- A VARIANCE IS REQUIRED FROM SECTION 34-4.5.h.2 FOR PROVIDING A MAXIMUM DRIVEWAY WIDTH OF TWENTY-FOUR (24) FEET WHERE THE MAXIMUM DRIVEWAY WIDTH ALLOWED IS TWENTY (20) FEET.
- A VARIANCE IS REQUIRED FROM SECTION 34-16.1 FOR PROVIDING TEN (10) PARKING SPACES AND NO GARAGES SPACES (BASED ON RSIS REQUIREMENTS) WHERE TWELVE (12) PARKING SPACES (BASED ON THREE SPACES PER DWELLING UNIT) IS REQUIRED.



KEY MAP

SCALE: 1" = 400'±

GRAPHIC SCALE



LIST OF APPROVING AGENCIES

| AGENCY | APPROVAL REQUIRED |
|---|--|
| NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION | FRESHWATER WETLANDS LETTER OF INTERPRETATION |
| BERGEN COUNTY SOIL CONSERVATION DISTRICT | PLAN CERTIFICATION |
| BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS- OPERATIONS DIVISION | DRIVEWAY PERMIT |

BOROUGH OF MIDLAND PARK ZONING REQUIREMENTS

R-1 (SINGLE-FAMILY) ZONE DISTRICT

| ITEM | REQUIRED | EXISTING | PROPOSED |
|-------------------------------|-----------------------|---------------|-------------------------------|
| MINIMUM LOT AREA | 12,500 SF | 36,466 SF (1) | 36,466 SF (1) |
| MINIMUM LOT WIDTH | 100 FT | 125.5 FT | 125.5 FT |
| MINIMUM LOT DEPTH | 125 FT | 304.0 FT (1) | 304.0 FT (1) |
| MINIMUM FRONT YARD SETBACK | 25 FT | N/A (2) | 25.5 FT (3) |
| MINIMUM REAR YARD SETBACK | 25 FT | N/A (2) | 194 FT |
| MINIMUM SIDE YARD SETBACK | 12 FT | N/A (2) | 12.5 FT |
| MAXIMUM BUILDING COVERAGE | 30% | N/A (2) | 7% (1)(4) |
| MAXIMUM IMPROVED LOT COVERAGE | 45% | 7% (1)(4) | 23% (1)(4) |
| MAXIMUM BUILDING HEIGHT | 32 FT (2½ STORIES) | N/A (2) | 31.3 FT (5) 3½ STORIES (6) |

(1) INCLUDES PORTION OF BLOCK 302, LOT 1 IN THE TOWNSHIP OF WYCKOFF

(2) EXISTING DWELLING REMOVED AND NO LONGER EXISTS

(3) MEASURED TO GODWIN AVENUE RIGHT-OF-WAY

(4)

EXISTING CONDITIONS

EXISTING DRIVEWAY PAVEMENT 1,150 SF

EXISTING CONCRETE PADS 750 SF

EXISTING GRAVEL DRIVEWAY AREA 2,400 SF

TOTAL 4,300 SF

PROPOSED CONDITIONS

PROPOSED BUILDING 2,275 SF

PROPOSED PAVED PARKING AREA 4,900 SF

PROPOSED CONCRETE PADS & WALKWAYS 800 SF

PROPOSED CONCRETE RAMP 200 SF

PROPOSED WALL 100 SF

TOTAL 8,275 SF

(5) BUILDING HEIGHT SUMMARY

AVERAGE GRADE= 280.66'

FIRST FLOOR ELEVATION= 288.25'

DISTANCE FROM FIRST FLOOR TO ROOF PEAK= 23.75 FT (PER ARCHITECT)

ROOF PEAK ELEVATION= 288.25 + 23.75 FT= 312.00'

BUILDING HEIGHT= 312.00 - 280.66= **31.3 FT**

(6) VARIANCE REQUIRED

ZONING BOARD APPROVAL

APPROVED BY THE ZONING BOARD OF THE BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY

ZONING BOARD CHAIRPERSON _____ DATE _____

ZONING BOARD SECRETARY _____ DATE _____

BOARD ENGINEER _____ DATE _____

SHEET INDEX

| SHEET | DESCRIPTION |
|-------|--------------------------------------|
| 1 | TITLE SHEET |
| 2 | BOUNDARY AND TOPOGRAPHIC SURVEY PLAN |
| 3 | SITE LAYOUT PLAN |
| 4 | GRADING & UTILITY PLAN |
| 5 | LIGHTING & LANDSCAPING PLAN |
| 6 | SOIL EROSION & SEDIMENT CONTROL PLAN |
| 7-9 | CONSTRUCTION NOTES AND DETAILS |

DYKSTRA WALKER
DESIGN GROUP

PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 304 - LAKE HOPATCONG, NJ 07849
PHONE (973) 663-4540 - FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

KENNETH D. DYKSTRA

PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. No. 246803297200

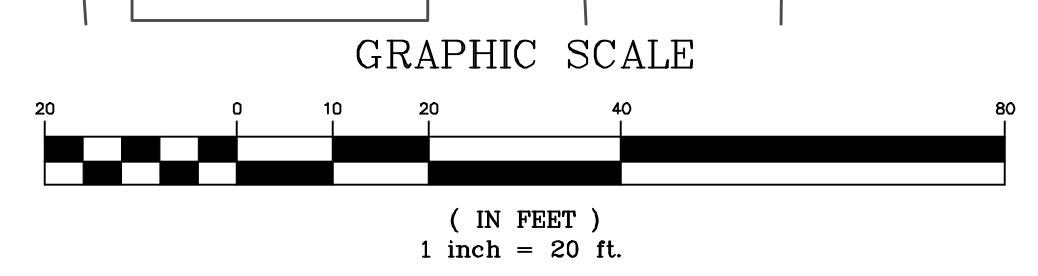
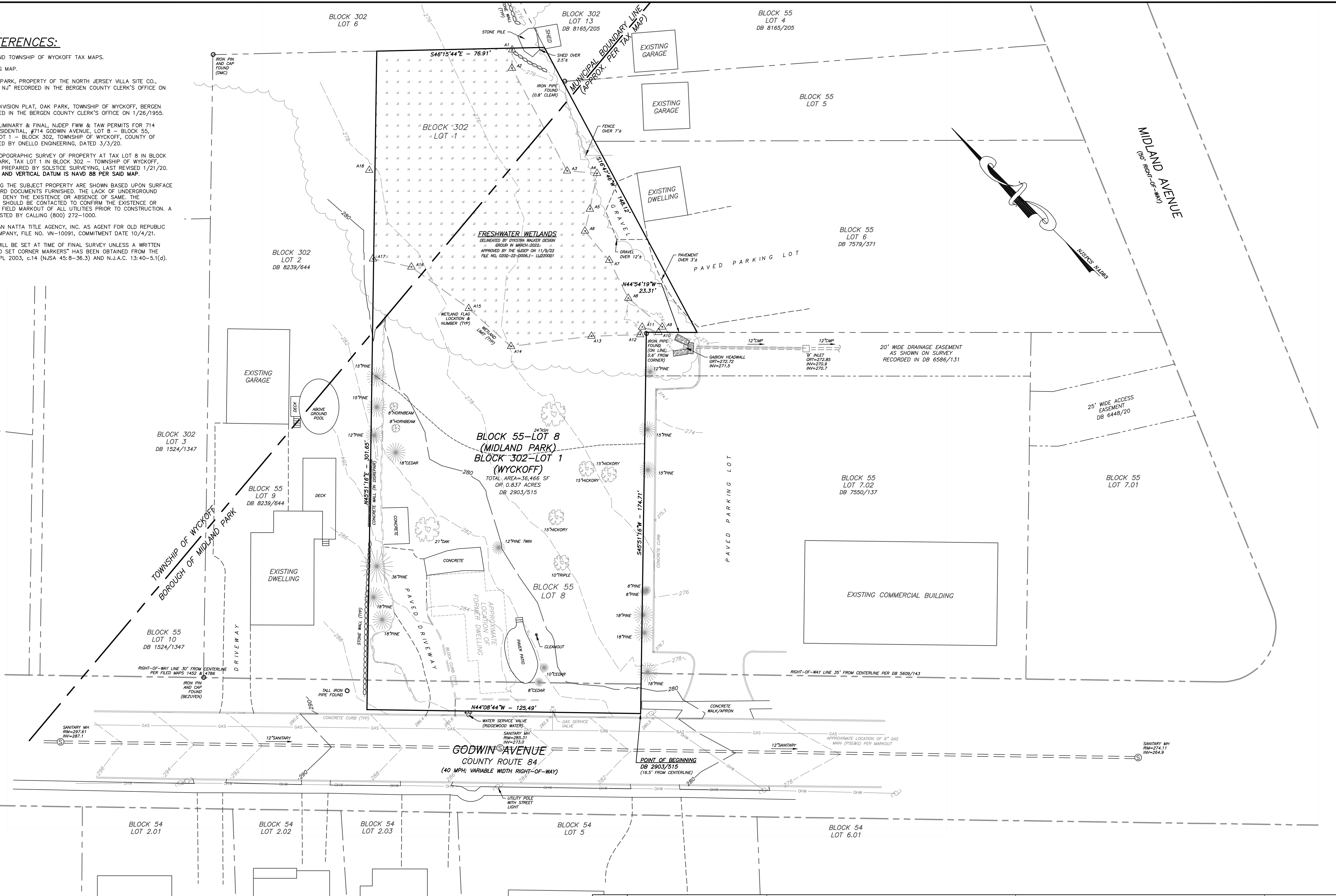
TITLE SHEET

PRELIMINARY & FINAL SITE PLAN
GODWIN AVE SUPPORTIVE HOUSING
#714 GODWIN AVENUE
BLOCK 55, LOT 8
BOROUGH OF MIDLAND PARK
BLOCK 302, LOT 1
TOWNSHIP OF WYCKOFF
BERGEN COUNTY NEW JERSEY

DW
SCALE: 1" = 400'
JOB NO.: 22004
DRAWN BY: MDF
CHECKED BY: KDD
DATE: 5/12/22
SHEET NO. 1 of 9

NOTES AND REFERENCES:

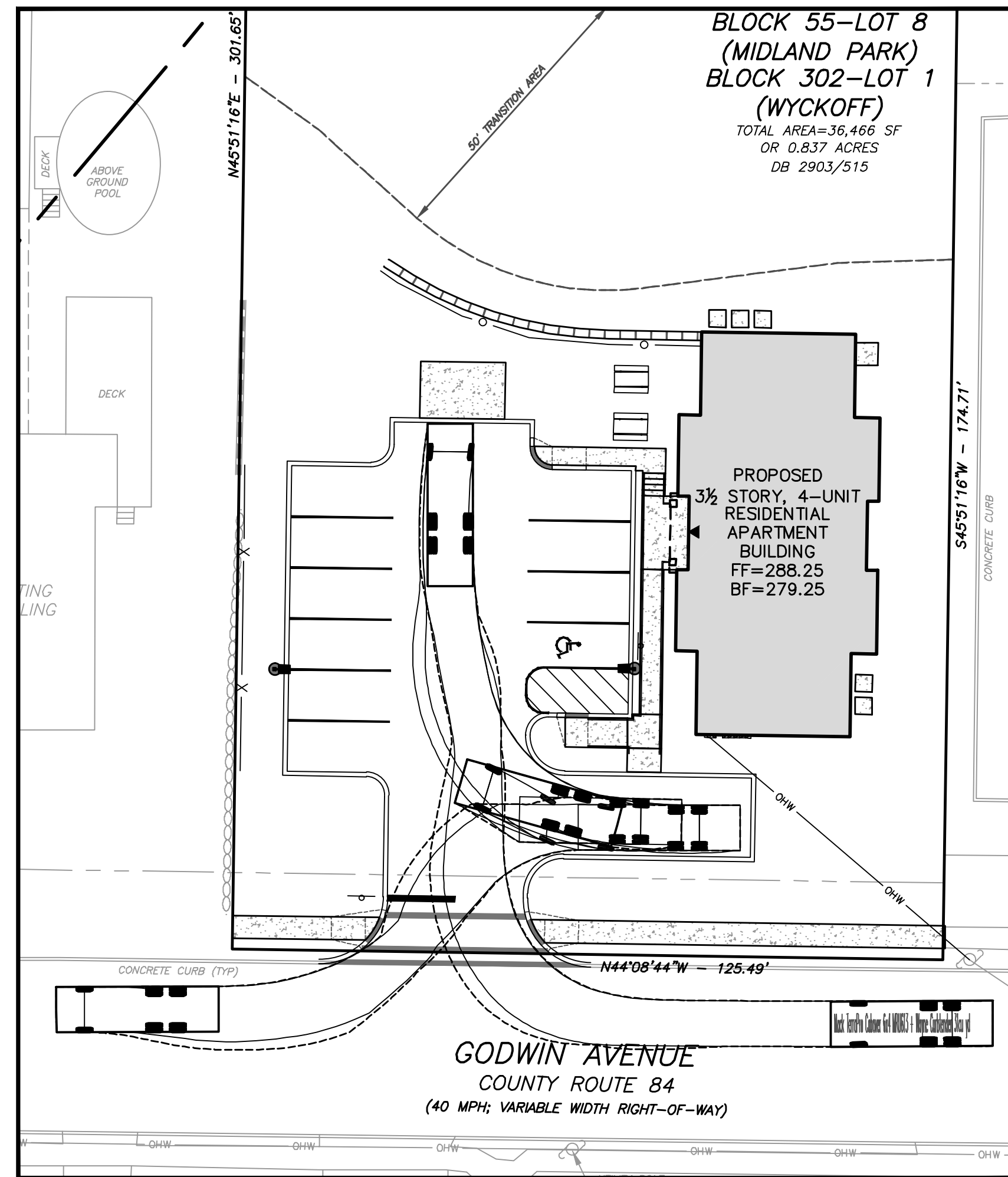
- BOROUGH OF MIDLAND PARK AND TOWNSHIP OF WYCKOFF TAX MAPS.
- DEEDS AS REFERENCED ON THIS MAP.
- FILED MAP #1452 TITLED "OAK PARK, PROPERTY OF THE NORTH JERSEY VILLA SITE CO., WORTENDYKE, BERGEN COUNTY, NJ" RECORDED IN THE BERGEN COUNTY CLERK'S OFFICE ON 12/20/1912.
- FILED MAP #4786 TITLED "SUBDIVISION PLAT, OAK PARK, TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY" RECORDED IN THE BERGEN COUNTY CLERK'S OFFICE ON 1/26/1955.
- PLANS TITLED "SITE PLAN, PRELIMINARY & FINAL, NJDEP FW & TAW PERMITS FOR 714 GODWIN AVENUE LLC, MULTI-RESIDENTIAL, #714 GODWIN AVENUE, LOT 8 - BLOCK 55, VOROUGH OF MIDLAND PARK, LOT 1 - BLOCK 302, TOWNSHIP OF WYCKOFF, COUNTY OF BERGEN, NEW JERSEY" PREPARED BY ONELLO ENGINEERING, DATED 3/3/20.
- MAP TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY AT TAX LOT 8 IN BLOCK 55 - BOROUGH OF MIDLAND PARK, TAX LOT 1 IN BLOCK 302 - TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY" PREPARED BY SOLISTICE SURVEYING, LAST REVISED 1/21/20. HORIZONTAL DATUM IS NAD 83 AND VERTICAL DATUM IS NAVD 88 PER SAID MAP.
- UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS FURNISHED. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND FOR A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. A FIELD MARKOUT MAY BE REQUESTED BY CALLING (800) 272-1000.
- TITLE REPORT PREPARED BY VAN NATTA TITLE AGENCY, INC. AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NO. VN-10091, COMMITMENT DATE 10/4/21.
- OUTBOUND CORNER MARKERS WILL BE SET AT TIME OF FINAL SURVEY UNLESS A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO PL 2003, c.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(d).



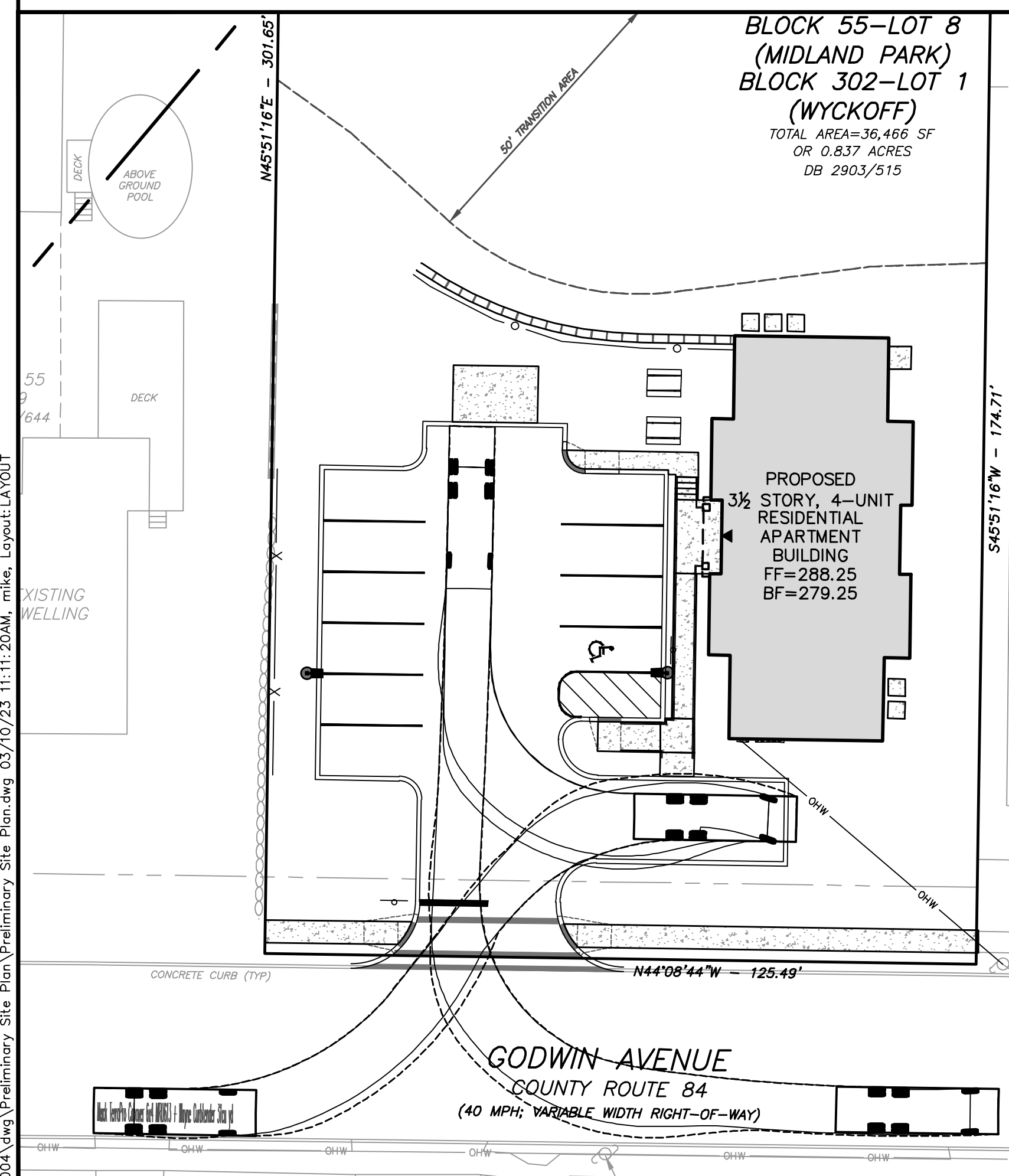
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| DYKSTRA WALKER DESIGN GROUP | |
| PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 - FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM | |
| KENNETH D. DYKSTRA | |
| PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. No. 246B03297200 | |
| DATE | REVISION |
| 5/12/22 | REVISED FOR SITE PLAN SUBMISSION |
| 3/31/22 | REVISED BASED ON SITE INSPECTION |

| | |
|---|------------------|
| BOUNDARY & TOPOGRAPHIC SURVEY PLAN | |
| PRELIMINARY & FINAL SITE PLAN GODWIN AVE SUPPORTIVE HOUSING | |
| #714 GODWIN AVENUE BLOCK 55, LOT 8 BOROUGH OF MIDLAND PARK BLOCK 302, LOT 1 TOWNSHIP OF WYCKOFF BERGEN COUNTY NEW JERSEY | |
| SCALE: 1" = 20' | JOB NO.: 22004 |
| DRAWN BY: KJO | CHECKED BY: KDD |
| DATE: 3/16/22 | SHEET NO. 2 of 9 |

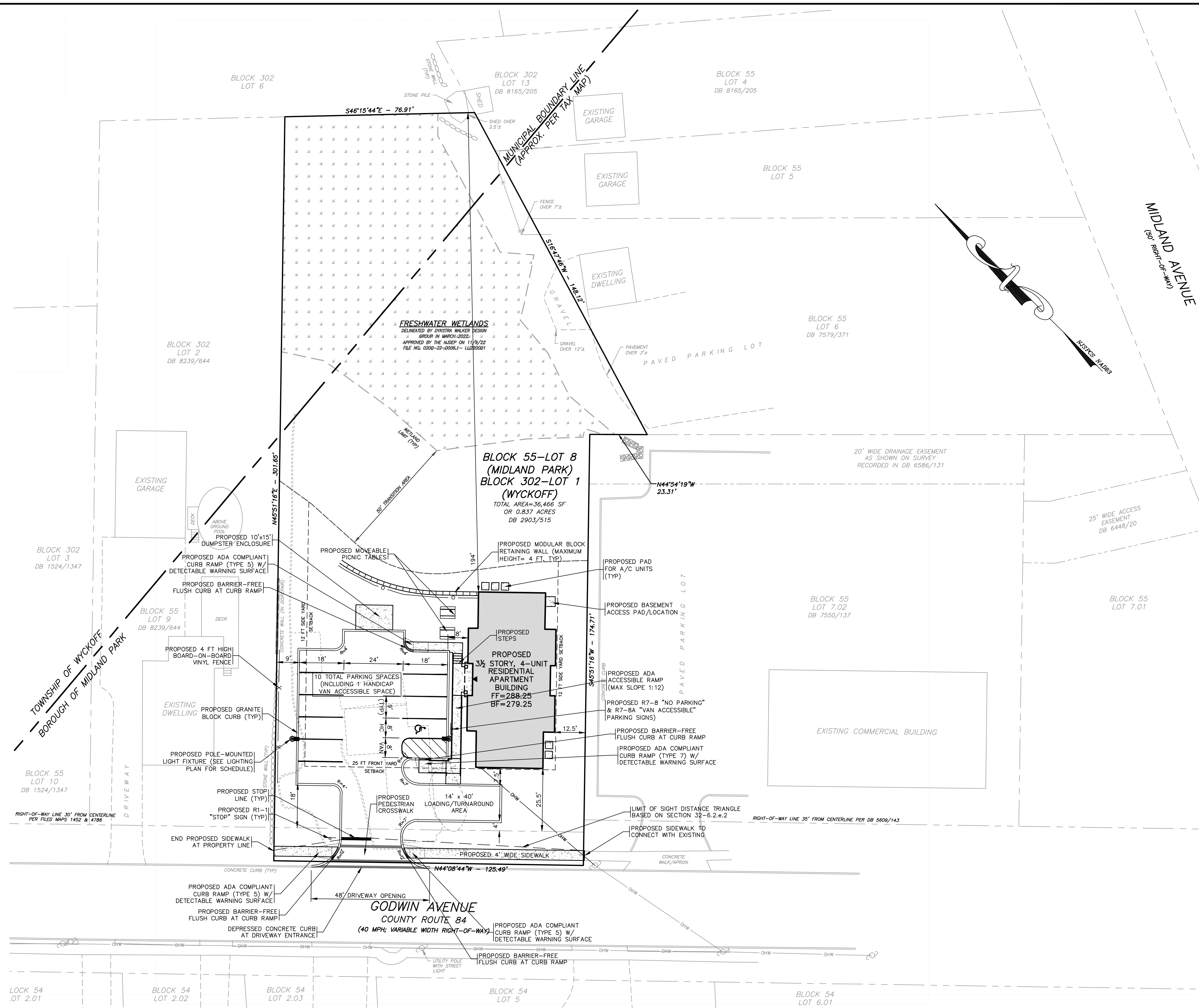
J:\dykstr\PROJ\22\22004\dwg\Preliminary Site Plan.dwg 03/16/23 11:11:14AM, mke, Layout: SURVEY



FRONT-LOADING GARBAGE TRUCK TURNING TEMPLATE
SCALE: 1" = 20'



REAR-LOADING GARBAGE TRUCK TURNING TEMPLATE
SCALE: 1" = 20'



GODWIN AVENUE
COUNTY ROUTE 84
(40 MPH, VARIABLE WIDTH RIGHT-OF-WAY)

GRAPHIC SCALE
0 10 20 30 40 50
(IN FEET)
1 inch = 20 ft.

| DATE | REVISION |
|----------|--------------------------|
| 3/10/23 | PER SETTLEMENT AGREEMENT |
| 10/26/22 | PER BOARD COMMENTS |
| 8/24/22 | PER COMPLETENESS REVIEW |

DYKSTRA WALKER
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KENNETH D. DYKSTRA
PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. NO. 246B03297200

SITE LAYOUT PLAN

PRELIMINARY & FINAL SITE PLAN
GODWIN AVE SUPPORTIVE HOUSING
#714 GODWIN AVENUE
BLOCK 55, LOT 8
BOROUGH OF MIDLAND PARK
BLOCK 302, LOT 1
TOWNSHIP OF WYCKOFF
BERGEN COUNTY NEW JERSEY

SCALE: 1" = 20'
JOB NO.: 22004
DRAWN BY: MDF
CHECKED BY: KDD
DATE: 5/12/22
SHEET NO. 3 OF 9

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SOIL TESTING RESULTS

TEST PITS WERE EXCAVATED ON MARCH 30, 2022 AND WITNESSED BY DYKSTRA WALKER DESIGN GROUP.

TEST PIT #1:
 0" - 10" 10YR4/4 DARK YELLOWISH BROWN LOAM, 5% GRAVEL, SUBANGULAR BLOCKY, FRIABLE
 10" - 24" 10YR3/3 DARK BROWN LOAM, 5% GRAVEL, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING
 24" - 65" 10YR5/6 YELLOWISH BROWN LOAM, 10% GRAVEL, 5% COBBLE, 5% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING
 65" - 110" 10YR3/4 DARK YELLOWISH BROWN LOAMY SAND, 20% GRAVEL, 10% COBBLE, 2% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING

ROOTS TO 50"
 NO LEDGE
 DEPTH TO WATER: 96" @ 2 HRS
 SEEPAGE @ 84"
 ESHWT @ 84" (SEEPAGE) ELEV. 274.0
 PERMEABILITY RATING: K3 @ 70"

TEST PIT #2:
 0" - 8" 10YR2/2 DARK BROWN LOAM, 5% GRAVEL, SUBANGULAR BLOCKY, LOOSE (MOIST)
 8" - 48" 10YR5/6 YELLOWISH BROWN LOAM, 10% GRAVEL, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING
 48" - 96" 10YR3/4 DARK YELLOWISH BROWN LOAMY SAND, 20% GRAVEL, 10% COBBLE, 10% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING

ROOTS TO 40"
 NO LEDGE
 DEPTH TO WATER: 74" @ 2 HRS
 SEEPAGE @ 74"
 ESHWT @ 74" (SEEPAGE) ELEV. 273.8
 PERMEABILITY RATING: K3 @ 60"

TEST PIT #3:
 0" - 24" FILL (LOAM & ROCK)
 24" - 72" 10YR5/6 YELLOWISH BROWN LOAM, 10% GRAVEL, 5% COBBLE, 5% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING
 72" - 120" 10YR3/4 DARK YELLOWISH BROWN LOAMY SAND, 30% GRAVEL, 10% COBBLE, 5% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING

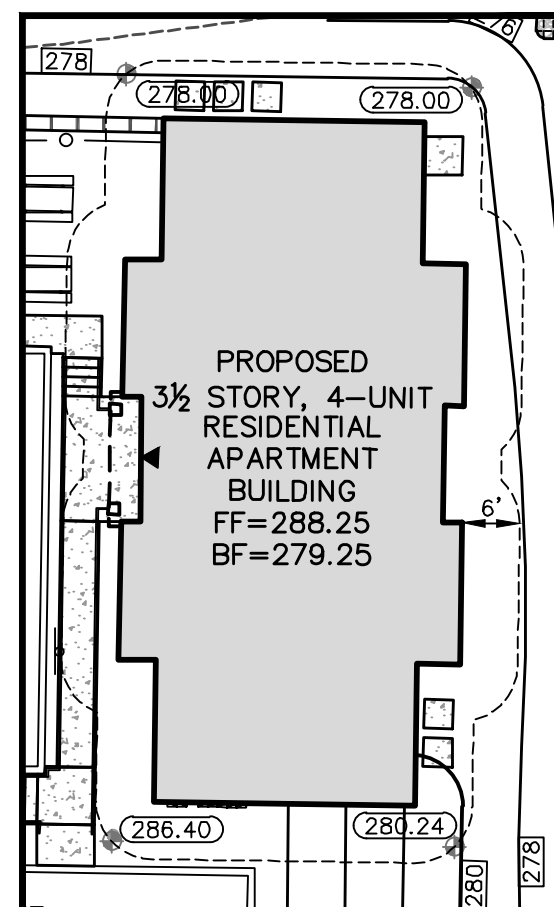
ROOTS TO 75"
 NO LEDGE
 DEPTH TO WATER: 110" @ 1 HRS
 SEEPAGE @ 96"
 ESHWT @ 74" (SEEPAGE) ELEV. 275.5
 PERMEABILITY RATING: K4 @ 84"

TEST PIT #4:
 0" - 12" 10YR3/3 DARK BROWN LOAM (TOPSOIL), 5% GRAVEL, SUBANGULAR BLOCK, FRIABLE
 12" - 55" 10YR5/6 YELLOWISH BROWN LOAM, 10% GRAVEL, 5% COBBLE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING
 55" - 100" 10YR4/4 DARK YELLOWISH BROWN LOAMY SAND, 25% GRAVEL, 10% COBBLE, 5% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING

ROOTS TO 63"
 NO LEDGE
 DEPTH TO WATER: 86" @ 0.5 HRS
 SEEPAGE @ 70"
 ESHWT @ 70" (SEEPAGE) ELEV. 273.2
 PERMEABILITY RATING: K4 @ 60"

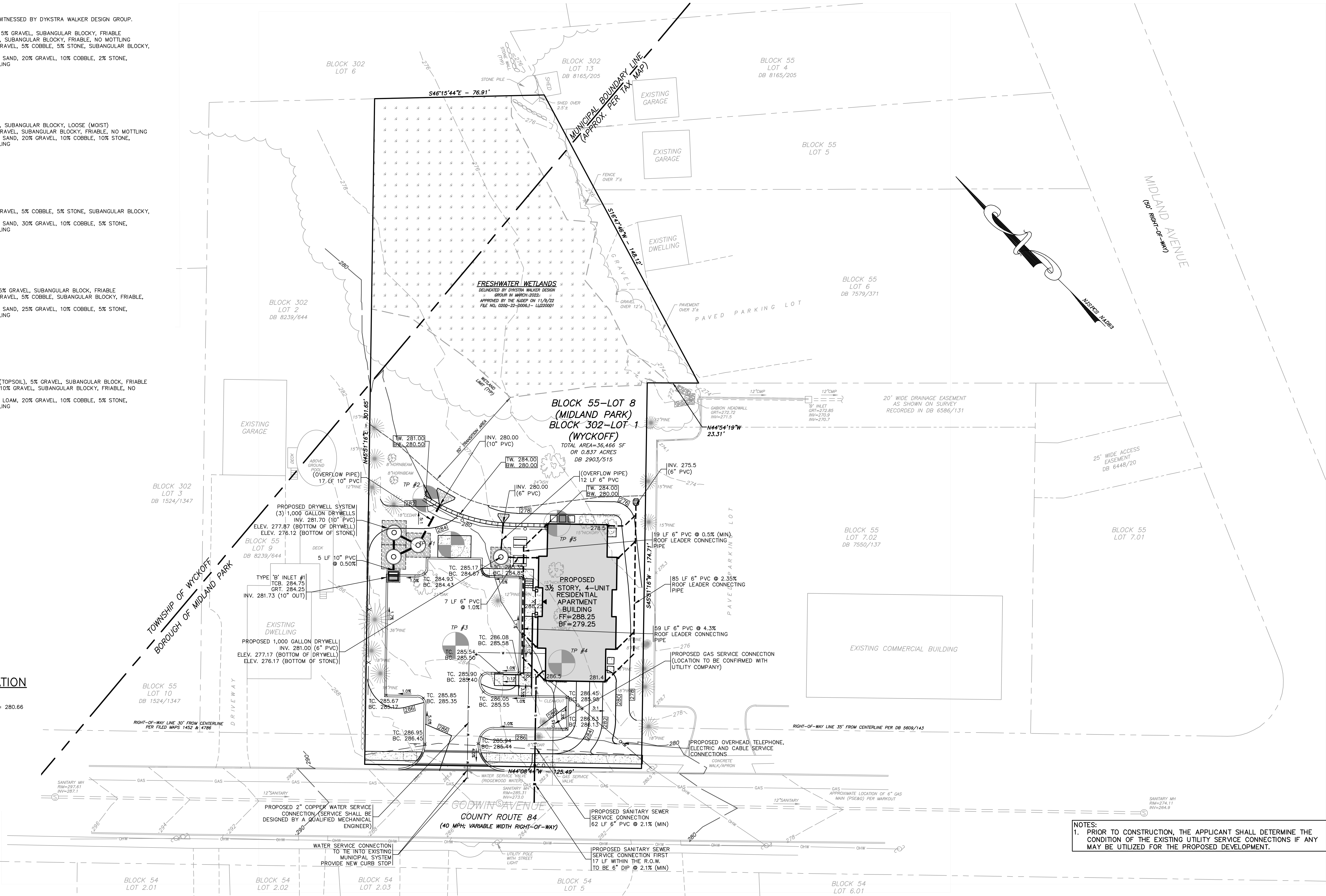
TEST PIT #5:
 0" - 8" 10YR3/3 DARK YELLOWISH BROWN LOAM (TOPSOIL), 5% GRAVEL, SUBANGULAR BLOCK, FRIABLE
 8" - 41" 10YR5/6 YELLOWISH BROWN CLAY LOAM, 10% GRAVEL, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING
 41" - 96" 10YR4/4 DARK YELLOWISH BROWN SANDY LOAM, 20% GRAVEL, 10% COBBLE, 5% STONE, SUBANGULAR BLOCKY, FRIABLE, NO MOTTLING

ROOTS TO 50"
 NO LEDGE
 DEPTH TO WATER: 76" @ 1 HRS
 SEEPAGE @ 76"
 ESHWT @ 70" (SEEPAGE) ELEV. 270.7

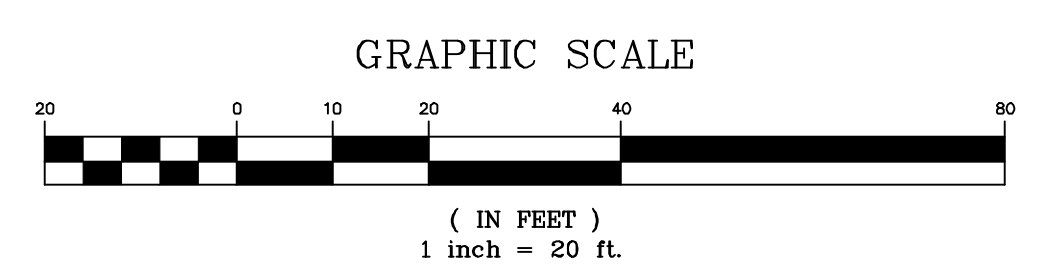


AVERAGE GRADE CALCULATION

SCALE: 1" = 20'
 AVERAGE GRADE = $286.40 + 278.00 + 280.24 = 280.66$



NOTES:
 1. PRIOR TO CONSTRUCTION, THE APPLICANT SHALL DETERMINE THE CONDITION OF THE EXISTING UTILITY SERVICE CONNECTIONS IF ANY MAY BE UTILIZED FOR THE PROPOSED DEVELOPMENT.



| | |
|--|--------------------------|
| DYKSTRA WALKER DESIGN GROUP | |
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| KENNETH D. DYKSTRA | |
| PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. NO. 246B03297200 | |
| DATE | REVISION |
| 3/10/23 | PER SETTLEMENT AGREEMENT |
| 10/26/22 | PER BOARD COMMENTS |
| 8/24/22 | PER COMPLETENESS REVIEW |

| | |
|---|-----|
| GRADING & UTILITY PLAN | |
| PRELIMINARY & FINAL SITE PLAN GODWIN AVE SUPPORTIVE HOUSING | |
| #714 GODWIN AVENUE BLOCK 55, LOT 8 BOROUGH OF MIDLAND PARK BLOCK 302, LOT 1 TOWNSHIP OF WYCKOFF BERGEN COUNTY NEW JERSEY | |
| SCALE: 1" = 20' | JDW |
| JOB NO.: 22004 | |
| DRAWN BY: MDF | |
| CHECKED BY: KDD | |
| DATE: 5/12/22 | |
| SHEET NO. 4 of 9 | |

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LIGHTING NOTES

1. ALL LIGHT FIXTURES TO BE LED. MOUNTING HEIGHTS ARE AS NOTED IN THE LUMINAIRE SCHEDULE.
2. ALL LIGHTING TO BE TIME CLOCK OPERATED FROM DUSK UNTIL DAWN AND INCLUDE A PHOTOCELL CONTROL AND A DIMMABLE CONTROL.
3. WIRING FOR SITE LIGHTS SHALL BE RUN IN UNDERGROUND 1" MIN. DIAMETER PVC CONDUIT AND AT LEAST 16" BELOW GRADE.
4. ALL SITE ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
5. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL UNDERGROUND FACILITIES IN SUCH A MANNER THAT THEY DO NOT CONFLICT WITH OTHER UNDERGROUND UTILITIES.
6. ALL WIRING AND CONDUIT REQUIRED TO PROVIDE ELECTRIC SERVICE TO PROPOSED FIXTURES SHALL BE INCLUDED IN LIGHTING BID. CONTRACTOR SHALL COORDINATE THE LAYOUT AND ELECTRICAL SERVICE TO THE PROPOSED FIXTURES WITH THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
7. ALL LIGHT POLES AND FIXTURES SHALL BE DARK BRONZE OR BLACK.
8. THESE CALCULATIONS WERE MADE USING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, USING ACCEPTED LIGHT LOSS FACTORS (LLF).

Lighting Schedule

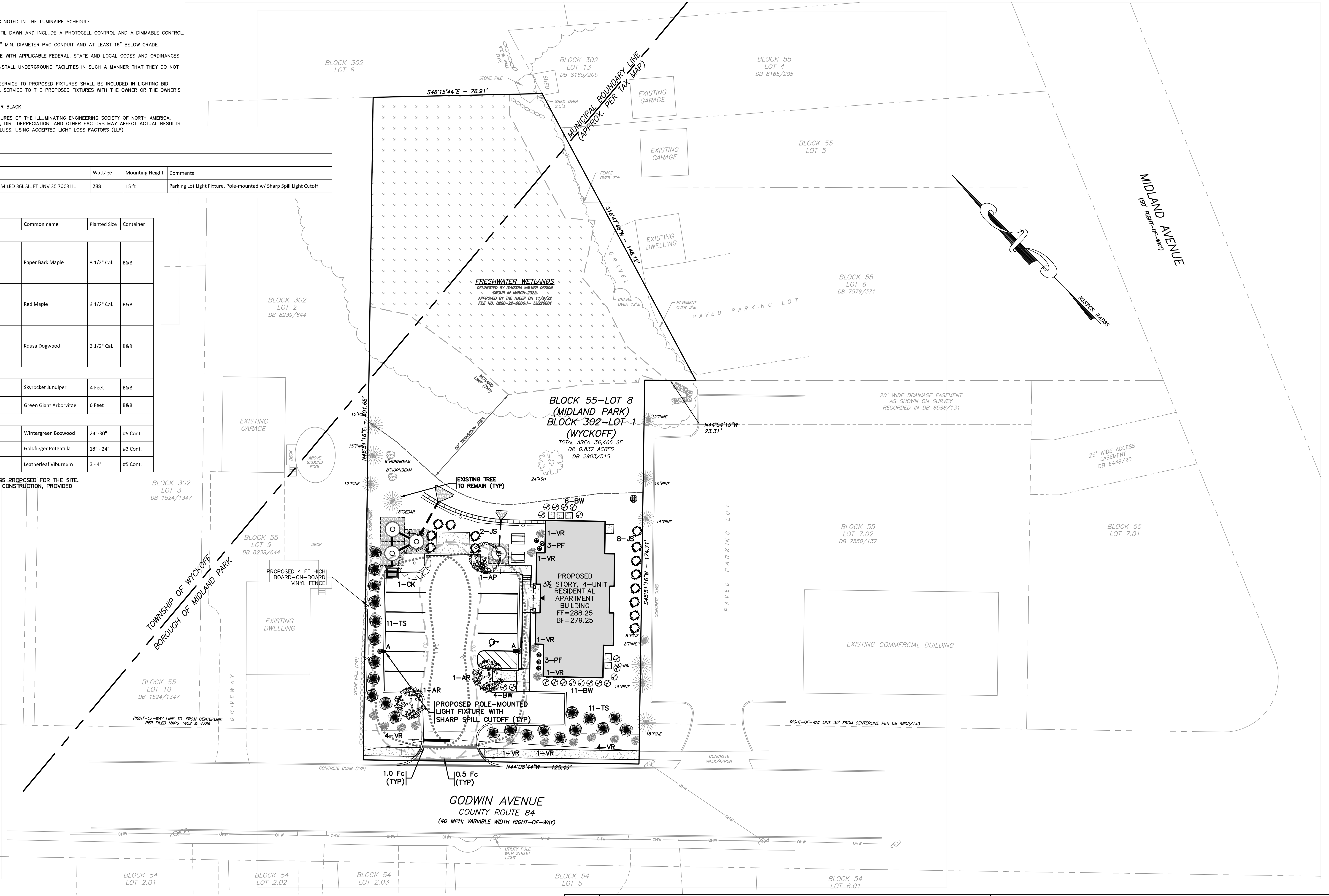
Project: Block 55, Lot 8

| Symbol | Qty. | Arrangement | LLF | Catalog Number | Wattage | Mounting Height | Comments |
|--------|------|-------------|-------|--|---------|-----------------|---|
| A | 2 | Single | 0.950 | Lsi Industries- MRM LED 36L SIL FT UNV 30 70CRI IL | 288 | 15 ft | Parking Lot Light Fixture, Pole-mounted w/ Sharp Spill Light Cutoff |

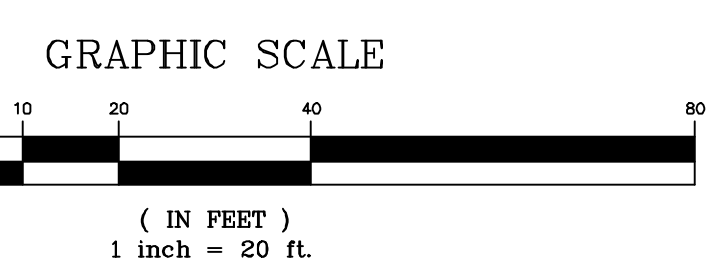
Landscaping Schedule

| Symbol | Qty. | Scientific Name | Common name | Planted Size | Container |
|------------------------|------|--|------------------------|--------------|-----------|
| Deciduous Trees | | | | | |
| AP | 1 | Acer griseum | Paper Bark Maple | 3 1/2" Cal. | B&B |
| AR | 2 | Acer rubrum October Glory | Red Maple | 3 1/2" Cal. | B&B |
| CK | 1 | Cornus Kousa | Kousa Dogwood | 3 1/2" Cal. | B&B |
| Evergreen Trees | | | | | |
| JS | 14 | Juniperus scopulorum 'Skyrocket' | Skyrocket Juniper | 4 Feet | B&B |
| TS | 22 | Thuja standishii x plicata 'Green Giant' | Green Giant Arborvitae | 6 Feet | B&B |
| Shrubs | | | | | |
| BW | 21 | Buxus sinica 'Wintergreen' | Wintergreen Boxwood | 24"-30" | #5 Cont. |
| PF | 6 | Potentilla fruticosa 'Goldfinger' | Goldfinger Potentilla | 18" - 24" | #3 Cont. |
| VR | 14 | Viburnum rhytidophyllum | Leatherleaf Viburnum | 3 - 4' | #5 Cont. |

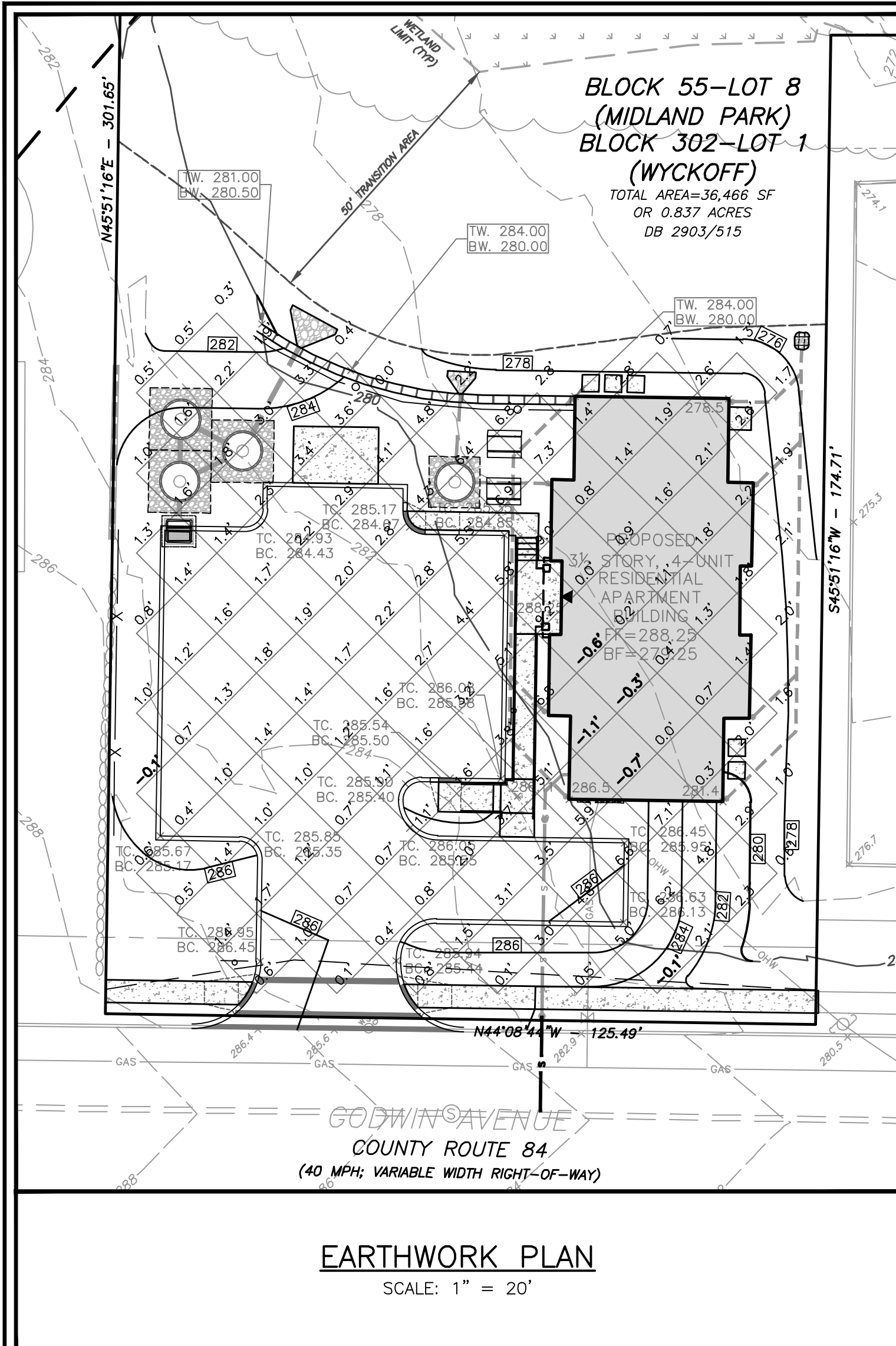
THE ABOVE TABLE IS A PRELIMINARY LIST OF PLANTINGS PROPOSED FOR THE SITE. APPLICANT MAY ADJUST LANDSCAPE DESIGN PRIOR TO CONSTRUCTION, PROVIDED ANY CHANGES ARE APPROVED BY THE BOROUGH.



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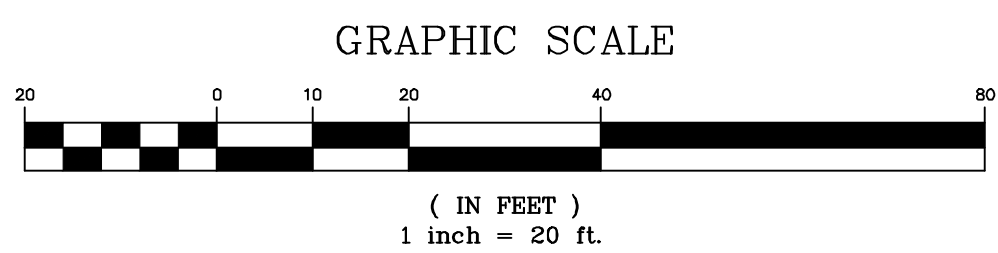
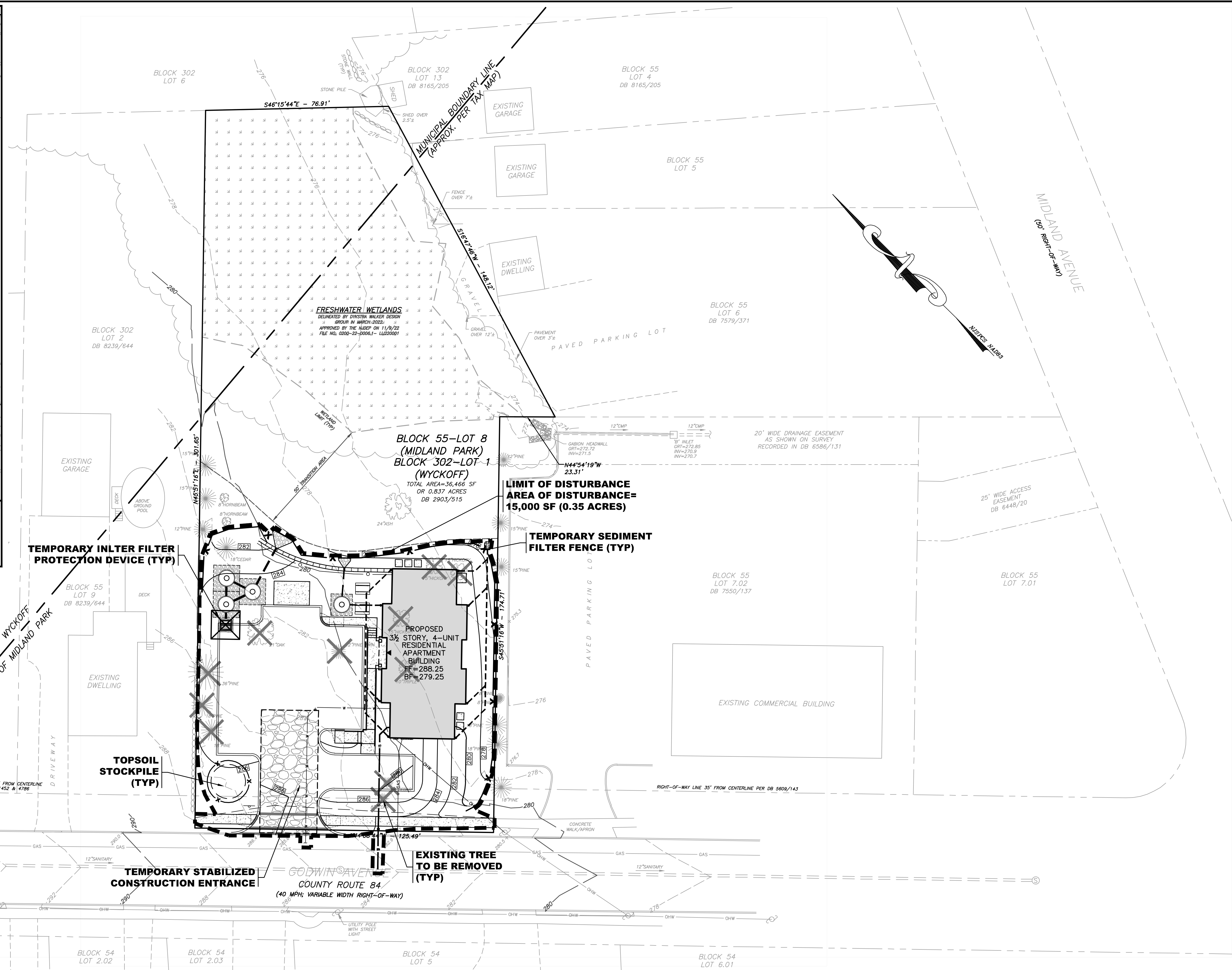


| | | | | | |
|--|--------------------------|---|--|--|---|
| <p>DYKSTRA WALKER DESIGN GROUP PA PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-4540 - FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM</p> <p>KENNETH D. DYKSTRA PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. NO. 246B03297200</p> | | LIGHTING AND LANDSCAPING PLAN | | | |
| | | PRELIMINARY & FINAL SITE PLAN | | | SCALE: 1" = 20' |
| | | GODWIN AVE SUPPORTIVE HOUSING | | | JOB NO.: 22004 |
| | | #714 GODWIN AVENUE BLOCK 55, LOT 8 BOROUGH OF MIDLAND PARK BLOCK 302, LOT 1 TOWNSHIP OF WYCKOFF BERGEN COUNTY NEW JERSEY | | | DRAWN BY: MDF CHECKED BY: KDD DATE: 5/12/22 SHEET NO. 5 of 9 |
| DATE | REVISION | | | | |
| 3/10/23 | PER SETTLEMENT AGREEMENT | | | | |
| 10/26/22 | PER BOARD COMMENTS | | | | |
| 8/24/22 | PER COMPLETENESS REVIEW | | | | |



EARTHWORK QUANTITY CALCULATIONS:

| | |
|---|--------|
| CUT (TO FINISHED PAVEMENT GRADE & BLDG FF -12") | 10 CY |
| TOTAL EXCAVATION: | 10 CY |
| FILL (TO FINISHED PAVEMENT GRADE): | 975 CY |
| - DRYWELL SYSTEMS | 50 CY |
| - PAVEMENT VOLUME | 150 CY |
| TOTAL FILL: | 775 CY |
| TOTAL CUT: | 10 CY |
| TOTAL FILL: | 775 CY |
| - TOTAL CUT: | 10 CY |
| MATERIAL NEEDED | 765 CY |
| TOPSOIL TO BE STRIPPED | 400 CY |
| TOPSOIL NEEDED | 210 CY |
| TOTAL MATERIAL NEEDED, LESS TOPSOIL | 575 CY |



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 WWW.DYKSTRAWALKER.COM

KENNETH D. DYKSTRA
 PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. NO. 246B03297200

| | |
|----------|--------------------------|
| 3/10/23 | PER SETTLEMENT AGREEMENT |
| 10/26/22 | PER BOARD COMMENTS |
| 8/24/22 | PER COMPLETENESS REVIEW |
| DATE | REVISION |

SOIL EROSION & SEDIMENT CONTROL PLAN

PRELIMINARY & FINAL SITE PLAN
GODWIN AVE SUPPORTIVE HOUSING
 #714 GODWIN AVENUE
 BLOCK 55, LOT 8
 BOROUGH OF MIDLAND PARK
 BLOCK 302, LOT 1
 TOWNSHIP OF WYCKOFF
 BERGEN COUNTY NEW JERSEY

SCALE: 1" = 20'
 JOB NO.: 22004
 DRAWN BY: MDF
 CHECKED BY: KDD
 DATE: 5/12/22
 SHEET NO. 6 of 9

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BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL (IN NEW JERSEY (NJ) STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:**
 - TEMPORARY SEEDING AND MULCHING:**
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11.5 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING:**
TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11.5 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION).
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1" - 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28 -1 OF THE NJ STANDARDS.
- STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, **IN WRITING**, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: 201-261-4407; FAX: 201-261-7573.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. **THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS.** ALL SITE WORK MUST BE STOPPED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

STANDARD FOR DUST CONTROL

DEFINITION: THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADWAYS.
PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.
CONDITION WHERE PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT: SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA: THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1.
AND PERMANENT STABILIZATION WITH 500, PG. 6-1.
SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

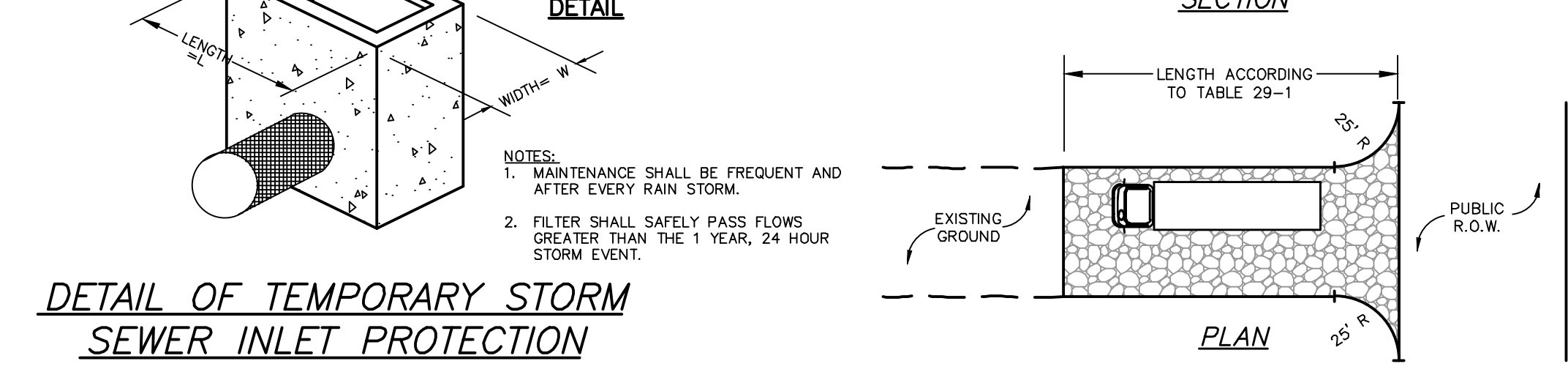
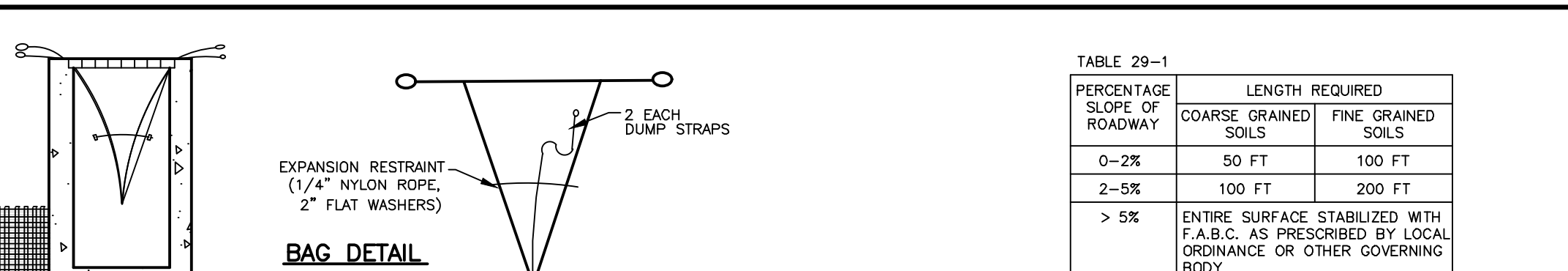
TABLE 16-1: DUST CONTROL MATERIALS

| MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ ACRE |
|-----------------------------------|----------------|----------------|---------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1,200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| POLYACRYLAMIDE (PAM) - SPRAY ON | | | |
| POLYACRYLAMIDE (PAM) - DRY SPREAD | | | |
| ADICULATED SOY BEAN SOAP STICK | NONE | COARSE SPRAY | 1,200 |

TILLAGE: TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
SPRINKLING: - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
BARRIERS: - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WATES, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
CALCIUM CHLORIDE: - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.
STONE: - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

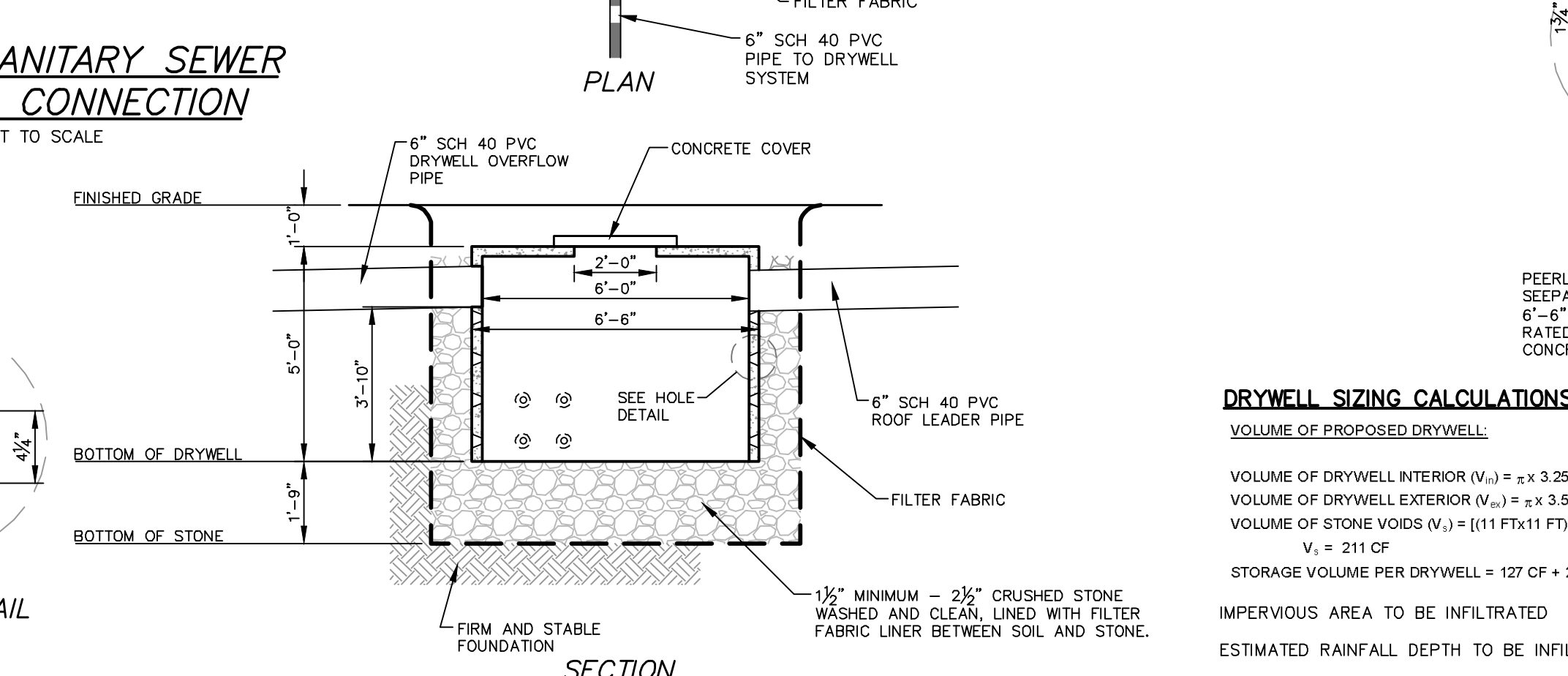
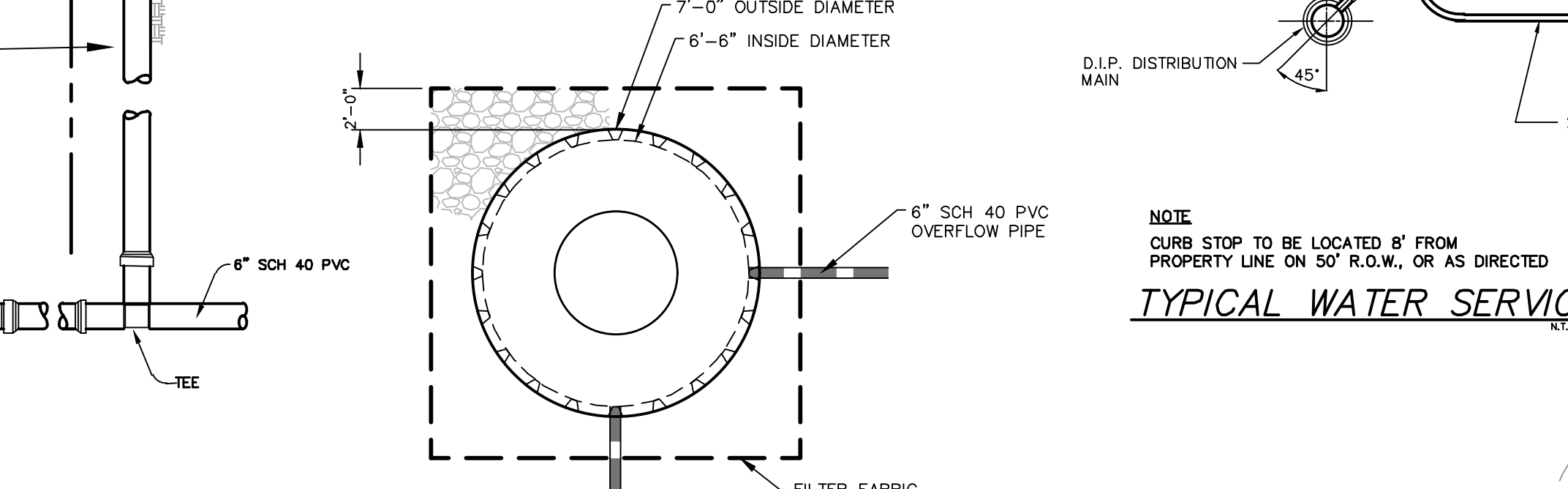
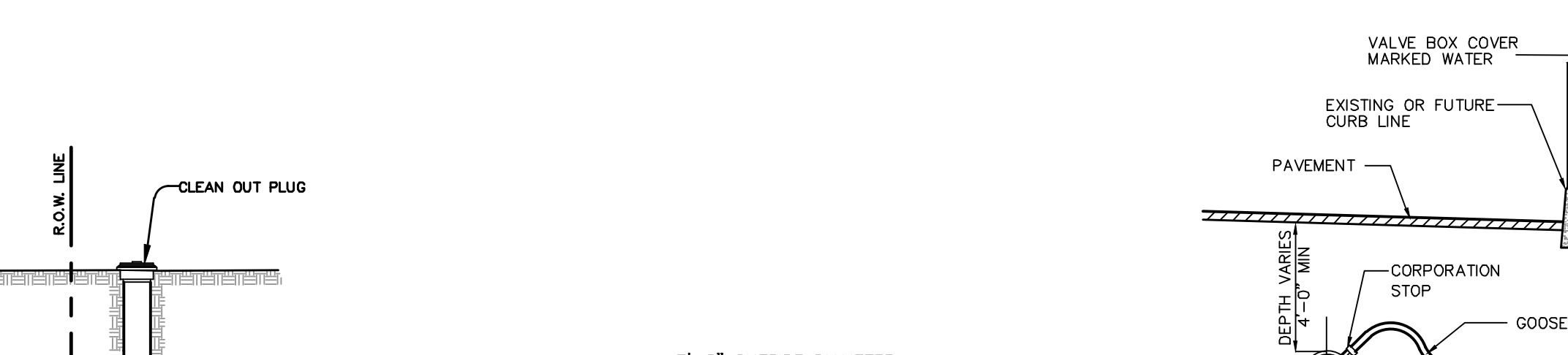
SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROL MEASURES, INCLUDING SILT FENCE, VEHICLE WHEEL CLEANING BLANKET, ETC. AS NOTED ON PLAN. DURATION = 1 DAY.
 - CLEAR AND GRUB PROPERTY = 2 DAYS.
 - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND STOCKPILES, PERFORM TEMPORARY STABILIZATION OF STOCKPILES. DURATION = 2 DAYS.
 - CONSTRUCT SITE IMPROVEMENTS. DURATION = 180 DAYS.
 - UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE. DURATION = 1 DAY.
 - INSTALL PERMANENT STABILIZATION. DURATION = 5 DAYS.
 - REMOVE TEMPORARY SOIL EROSION MEASURES AFTER PERMANENT STABILIZATION IS ESTABLISHED AND APPROVED BY SOIL CONSERVATION DISTRICT. DURATION = 2 DAYS.
- TOTAL DURATION = 193 DAYS.

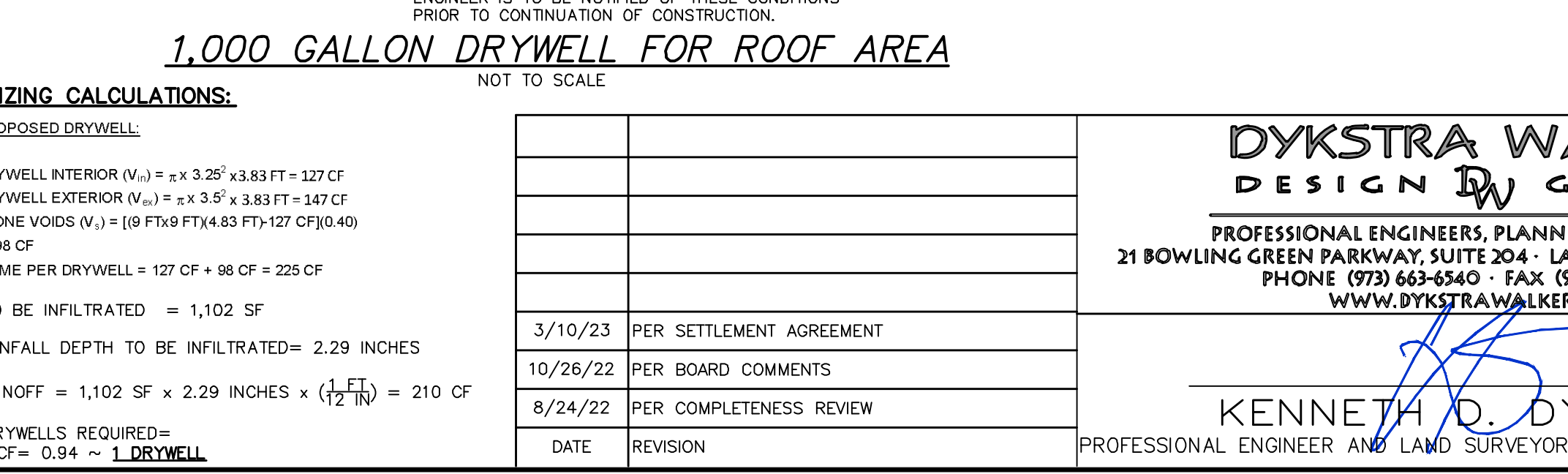


STABILIZED CONSTRUCTION ENTRANCE

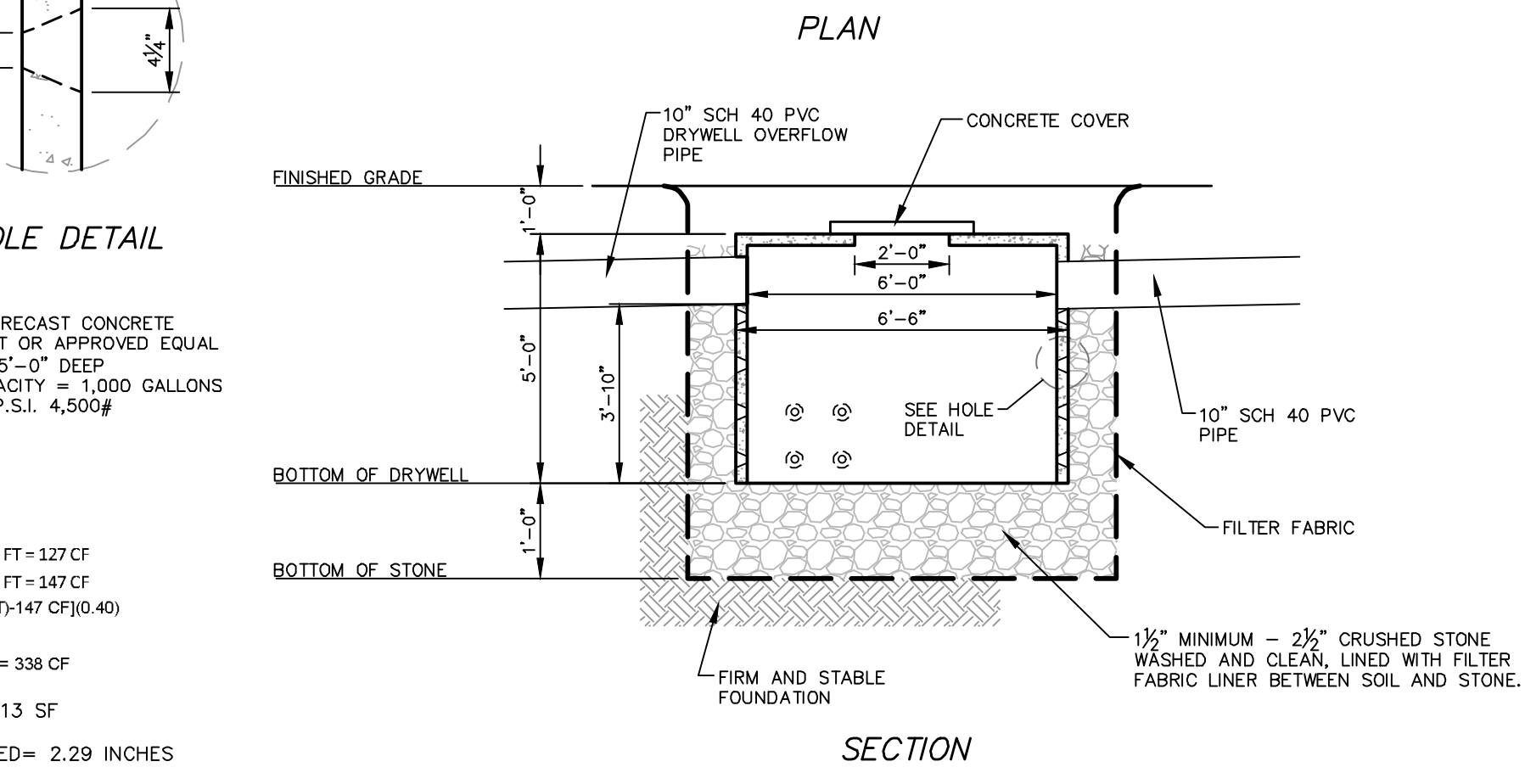
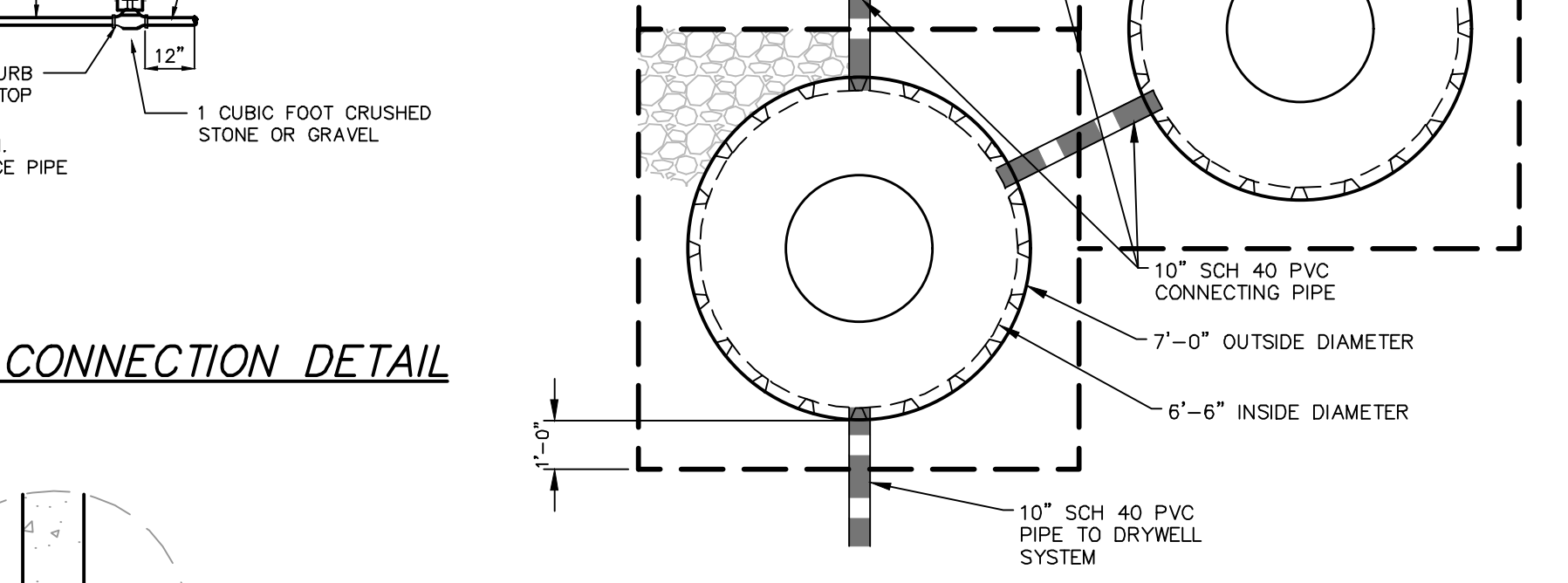
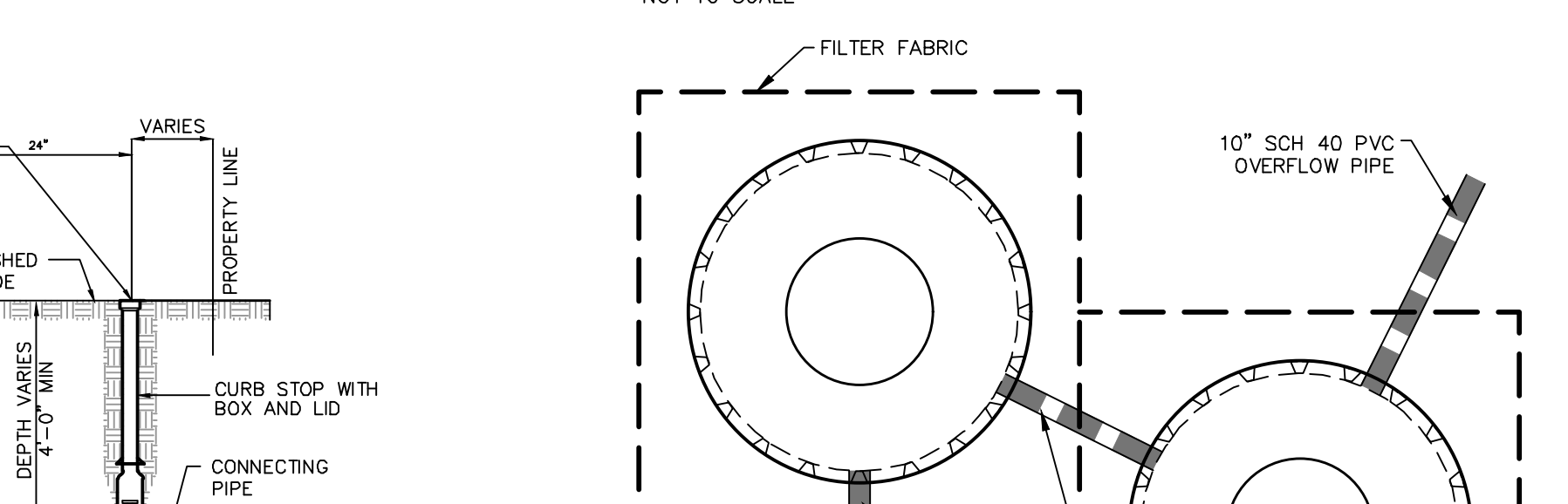
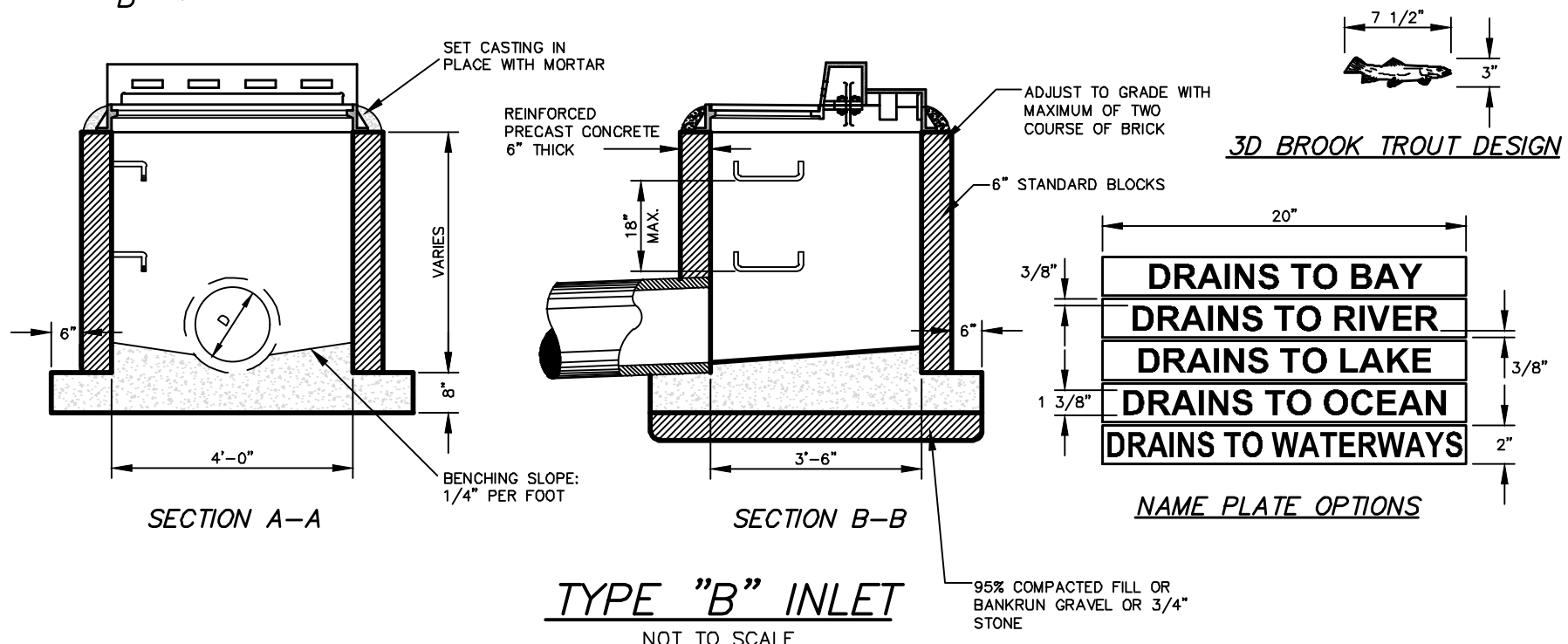
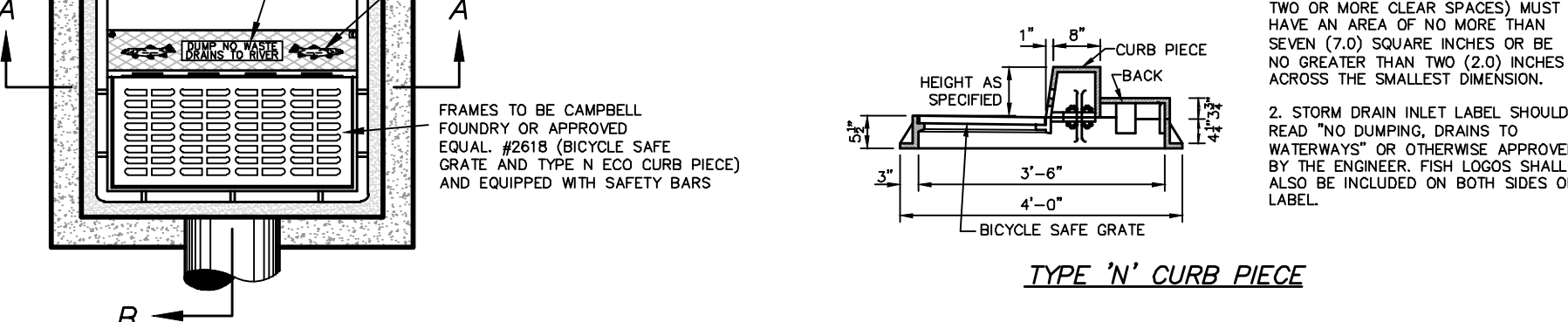
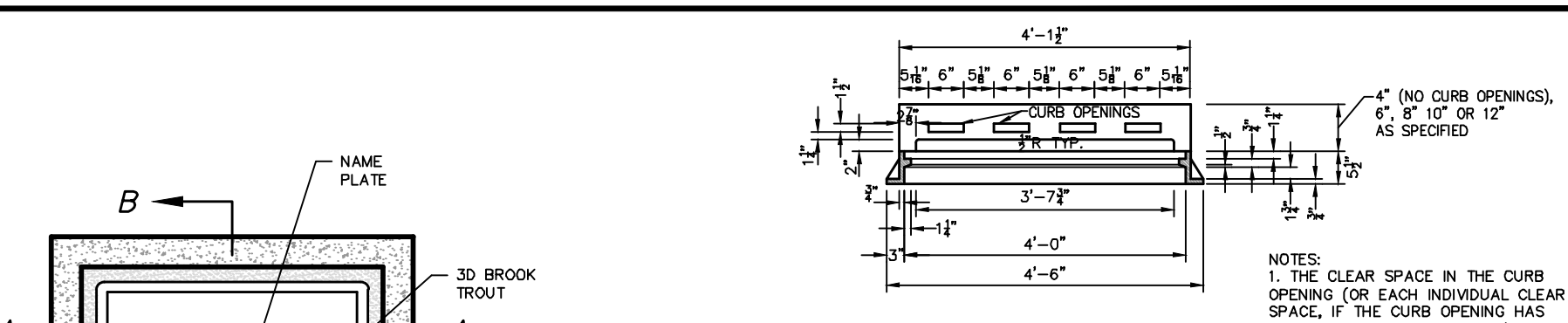
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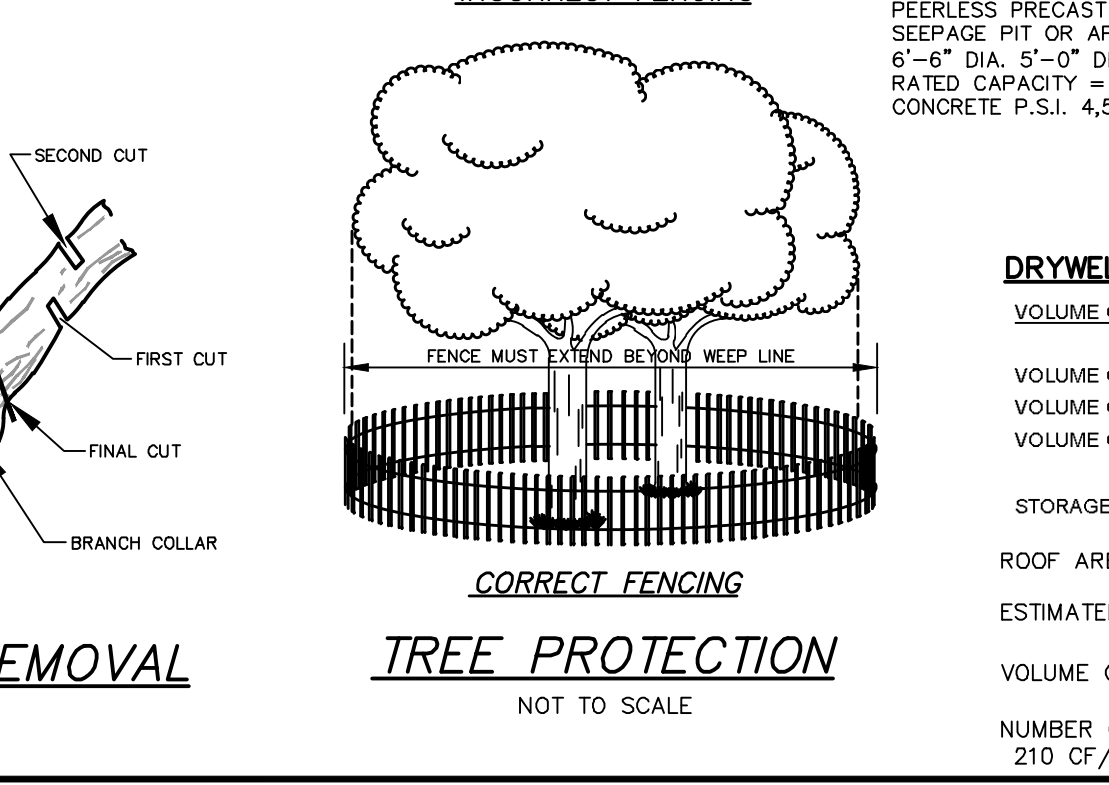
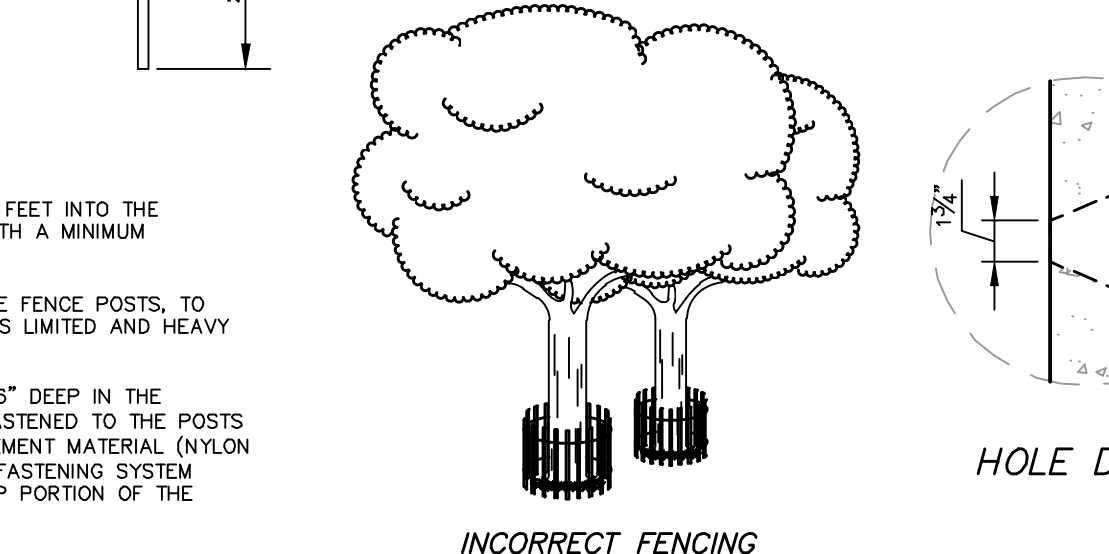
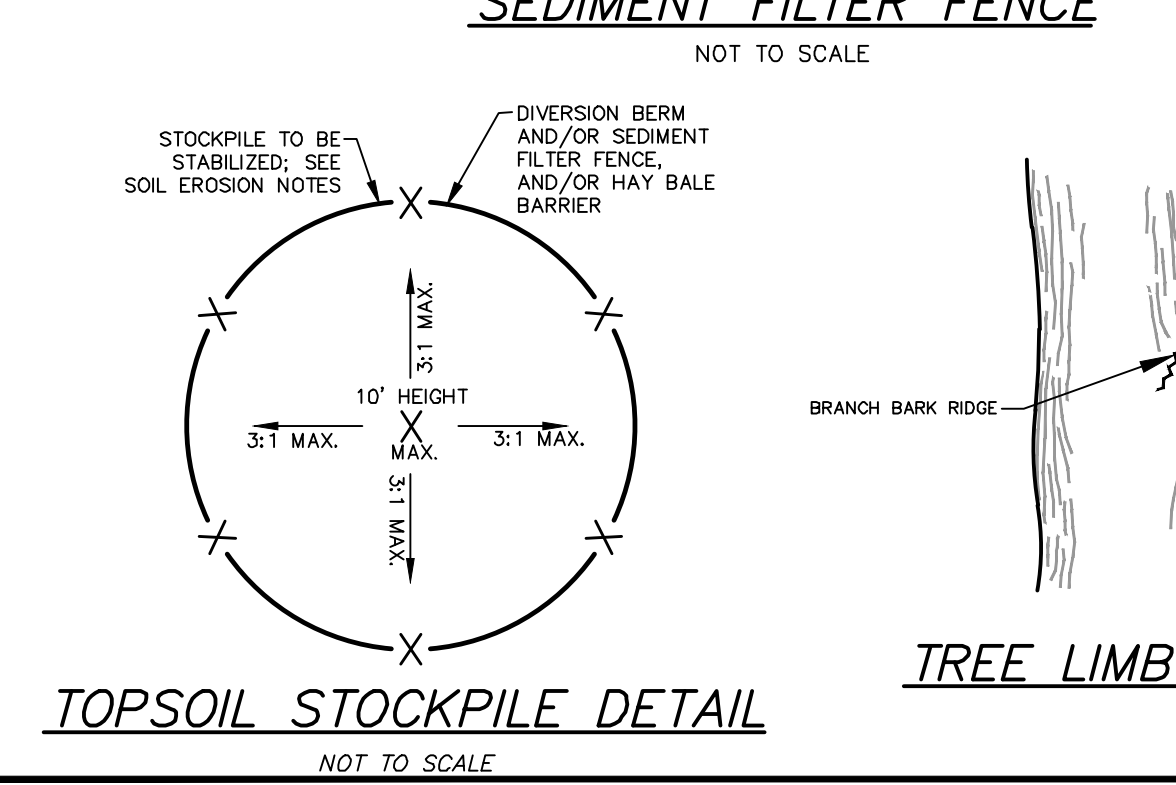
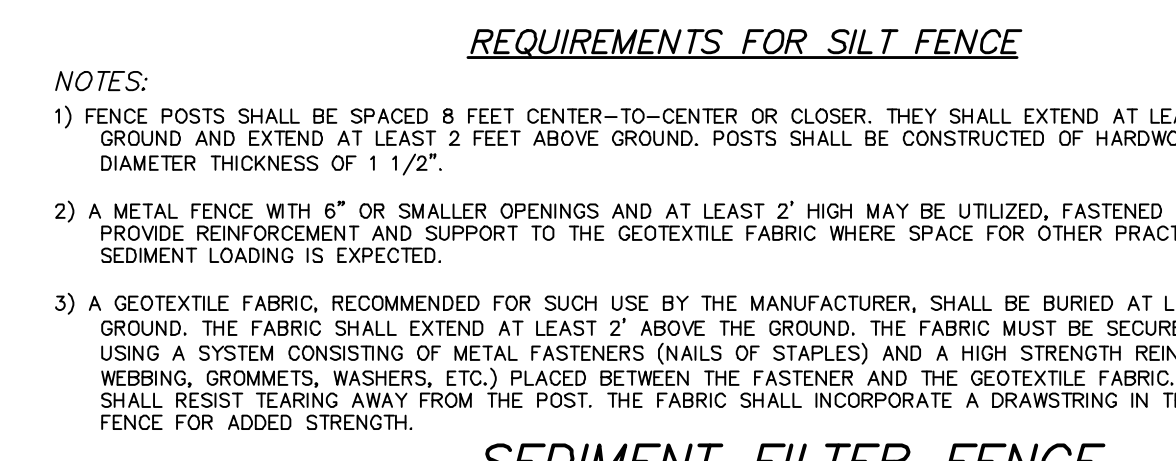
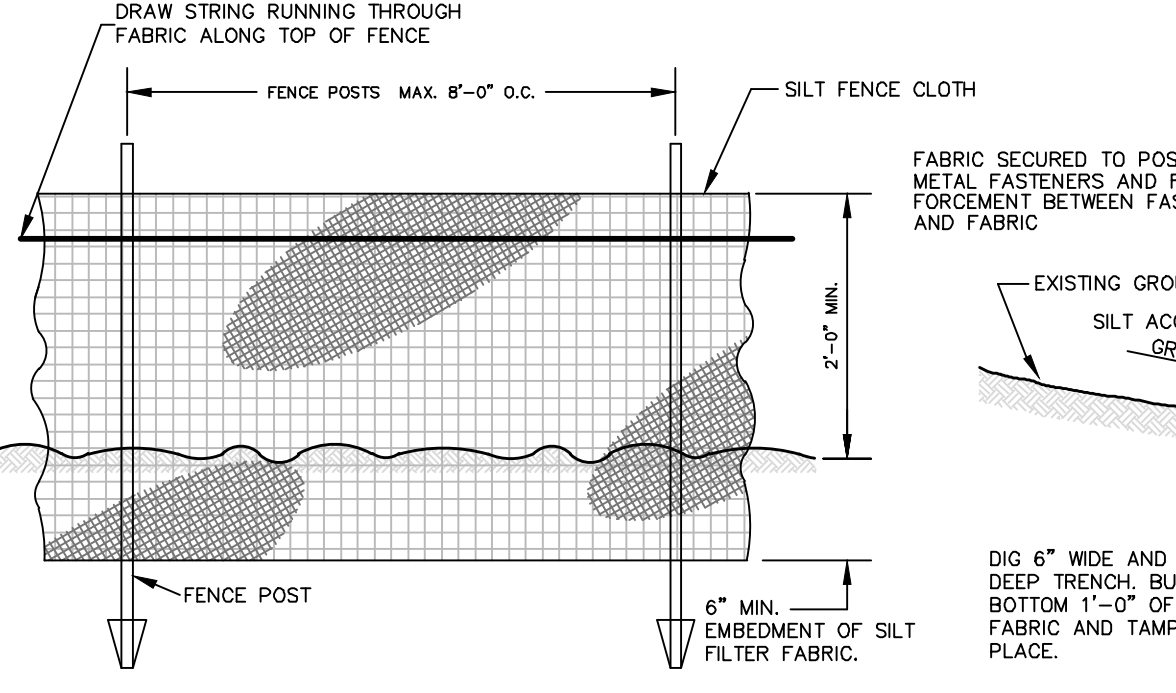
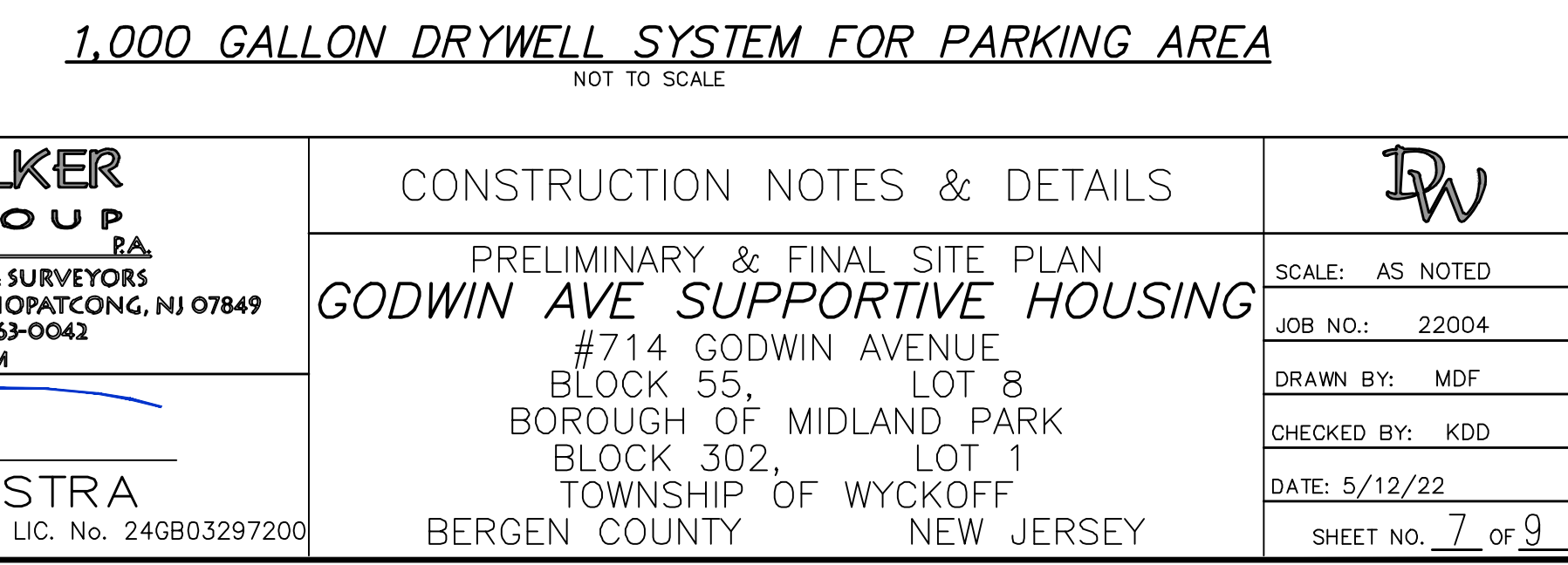
DRYWELL SIZING CALCULATIONS:
VOLUME OF PROPOSED DRYWELL:
VOLUME OF DRYWELL INTERIOR (V_i) = π x 3.25' x 3.83 FT = 127 CF
VOLUME OF DRYWELL EXTERIOR (V_e) = π x 3.5' x 3.83 FT = 147 CF
VOLUME OF STONE VOIDS (V_v) = (10 FT x 9 FT x 4.83 FT) x 127 CF / 100
V_v = 211 CF
STORAGE VOLUME PER DRYWELL = 127 CF + 211 CF = 338 CF
IMPERVIOUS AREA TO BE INFILTRATED = 5,213 SF
ESTIMATED RAINFALL DEPTH TO BE INFILTRATED = 2.29 INCHES
VOLUME OF RUNOFF = 5,213 SF x 2.29 INCHES x (1/12 IN) = 995 CF
NUMBER OF DRYWELLS REQUIRED = 995 CF / 338 CF = 2.94 ~ 3 DRYWELLS



DRYWELL SIZING CALCULATIONS:
VOLUME OF PROPOSED DRYWELL:
VOLUME OF DRYWELL INTERIOR (V_i) = π x 3.25' x 3.83 FT = 127 CF
VOLUME OF DRYWELL EXTERIOR (V_e) = π x 3.5' x 3.83 FT = 147 CF
VOLUME OF STONE VOIDS (V_v) = (10 FT x 9 FT x 4.83 FT) x 127 CF / 100
V_v = 211 CF
STORAGE VOLUME PER DRYWELL = 127 CF + 211 CF = 338 CF
IMPERVIOUS AREA TO BE INFILTRATED = 1,102 SF
ESTIMATED RAINFALL DEPTH TO BE INFILTRATED = 2.29 INCHES
VOLUME OF RUNOFF = 1,102 SF x 2.29 INCHES x (1/12 IN) = 210 CF
NUMBER OF DRYWELLS REQUIRED = 210 CF / 338 CF = 0.94 ~ 1 DRYWELL



DRYWELL SIZING CALCULATIONS:
VOLUME OF PROPOSED DRYWELL:
VOLUME OF DRYWELL INTERIOR (V_i) = π x 3.25' x 3.83 FT = 127 CF
VOLUME OF DRYWELL EXTERIOR (V_e) = π x 3.5' x 3.83 FT = 147 CF
VOLUME OF STONE VOIDS (V_v) = (11 FT x 11 FT x 5.68 FT) x 127 CF / 100
V_v = 211 CF
STORAGE VOLUME PER DRYWELL = 127 CF + 211 CF = 338 CF
IMPERVIOUS AREA TO BE INFILTRATED = 5,213 SF
ESTIMATED RAINFALL DEPTH TO BE INFILTRATED = 2.29 INCHES
VOLUME OF RUNOFF = 5,213 SF x 2.29 INCHES x (1/12 IN) = 995 CF
NUMBER OF DRYWELLS REQUIRED = 995 CF / 338 CF = 2.94 ~ 3 DRYWELLS



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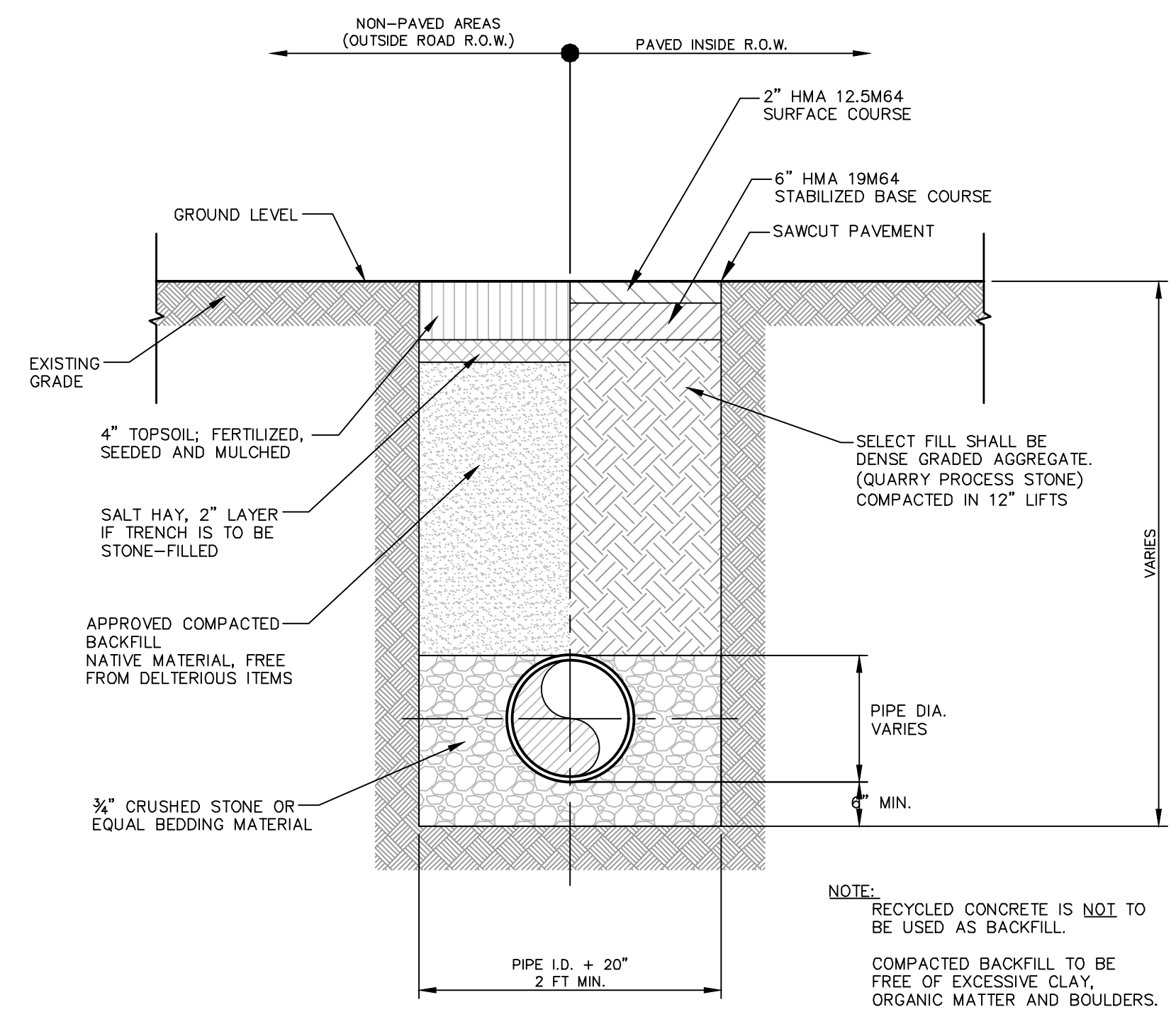
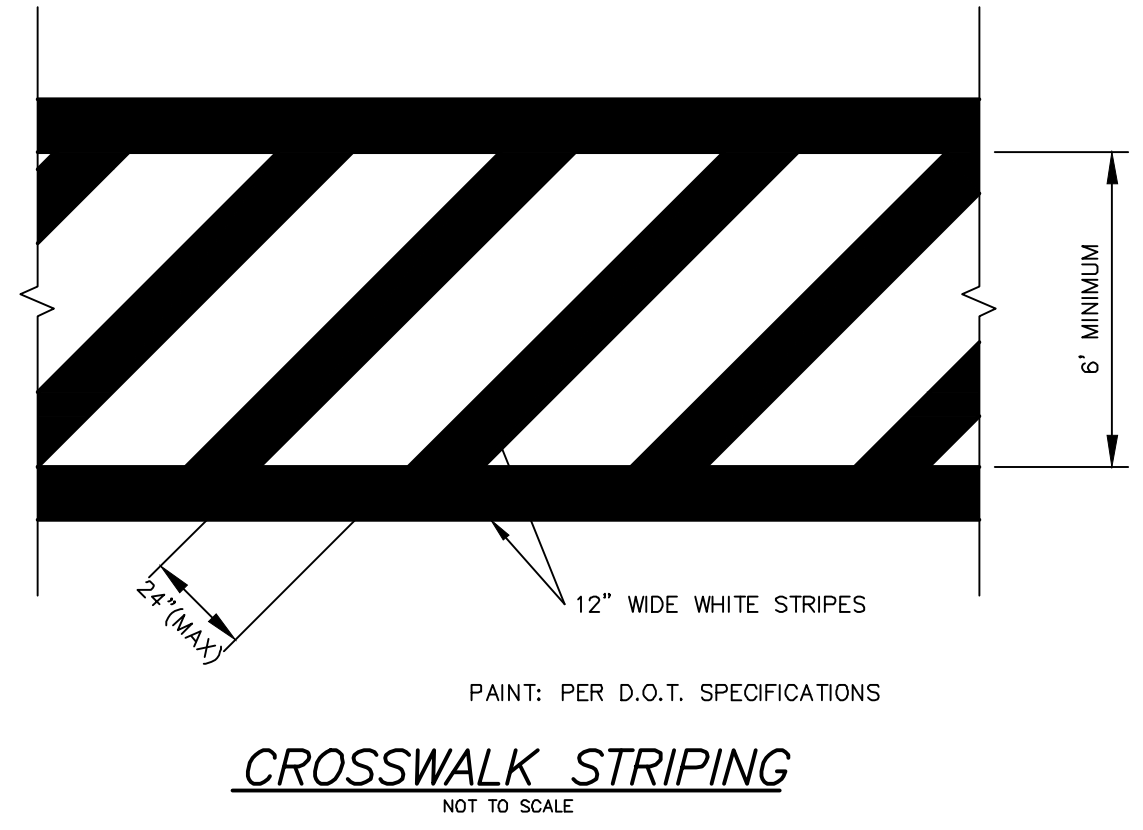
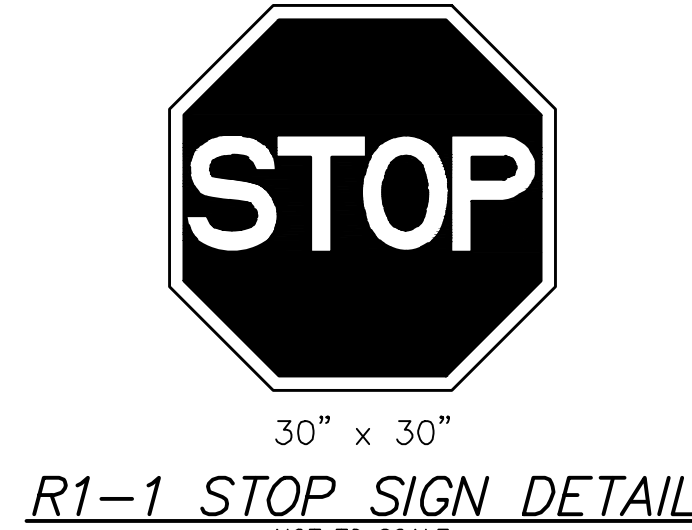
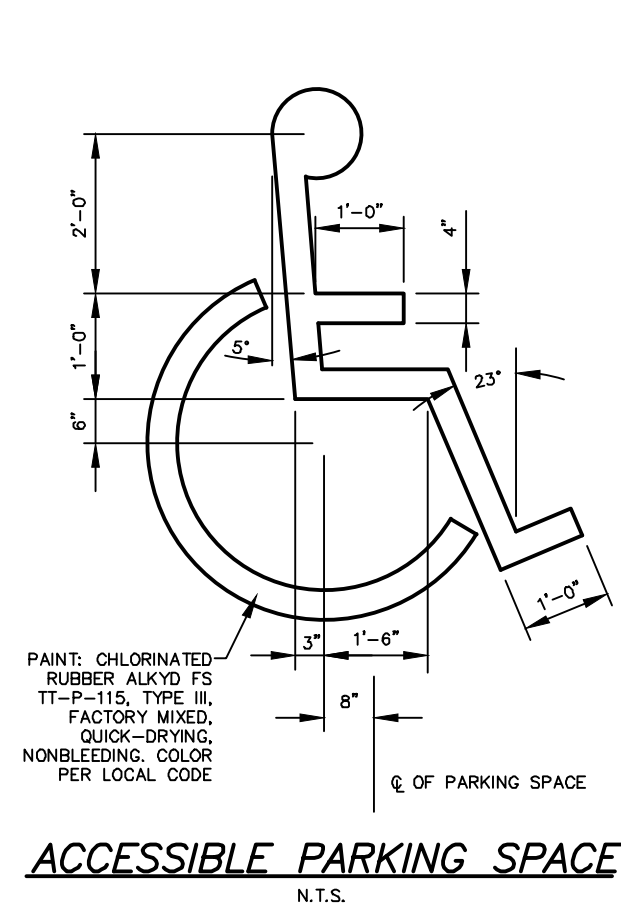
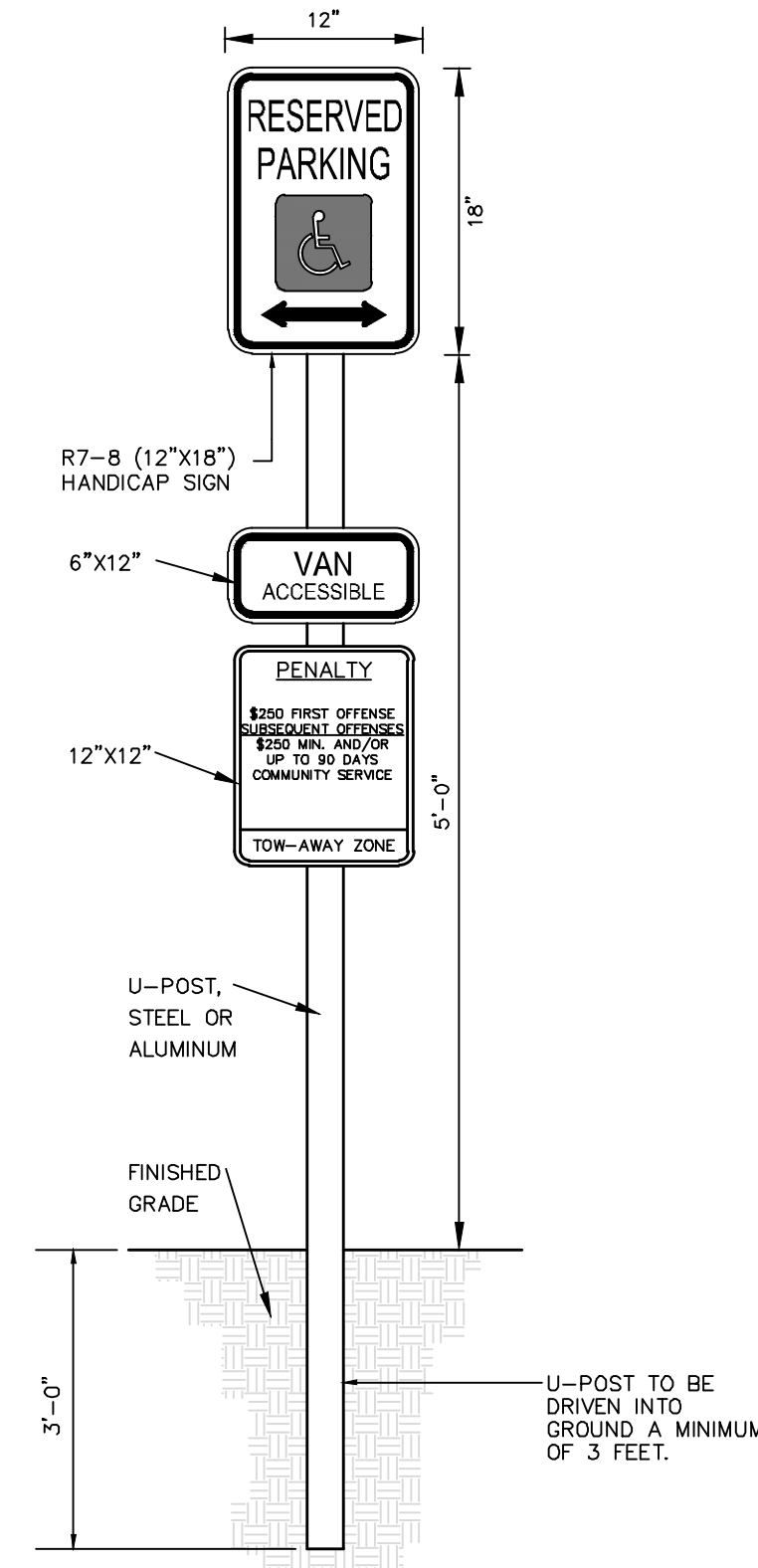
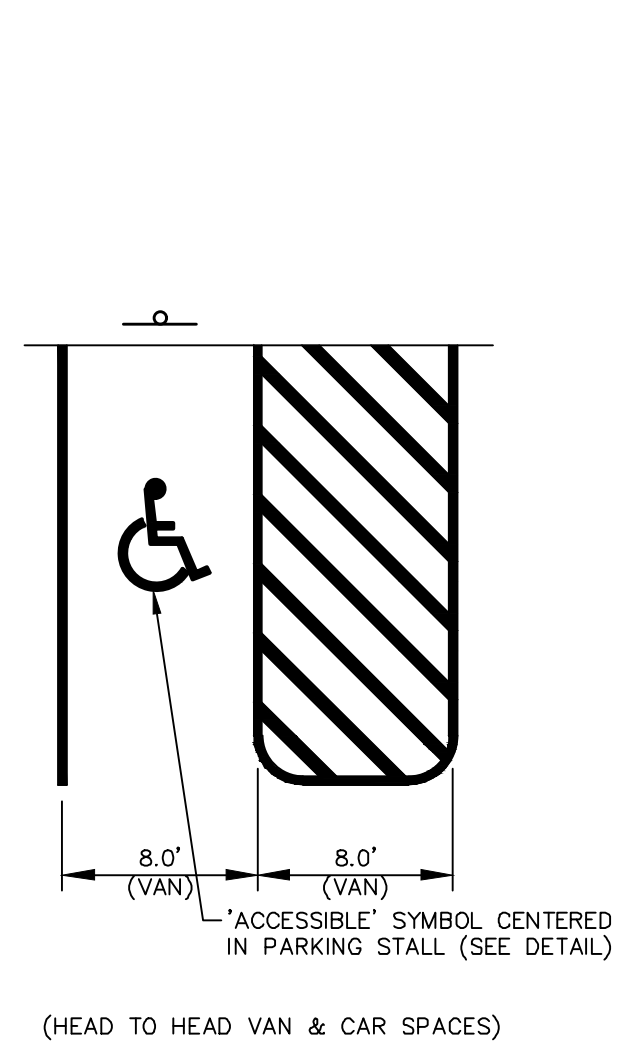
CONSTRUCTION NOTES & DETAILS

PRELIMINARY & FINAL SITE PLAN
GODWIN AVE SUPPORTIVE HOUSING
#714 GODWIN AVENUE
BLOCK 55, LOT 8
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BERGEN COUNTY NEW JERSEY

SCALE: AS NOTED
JOB NO.: 22004
DRAWN BY: MDF
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SHEET NO. 7 of 9

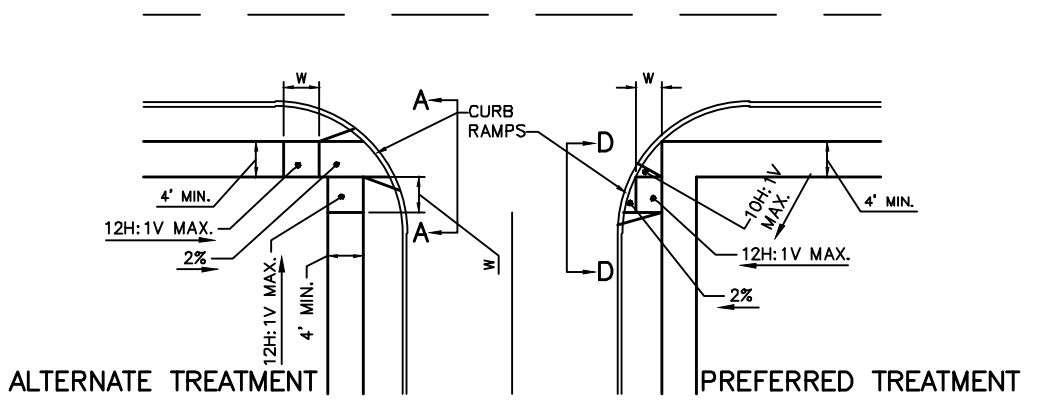
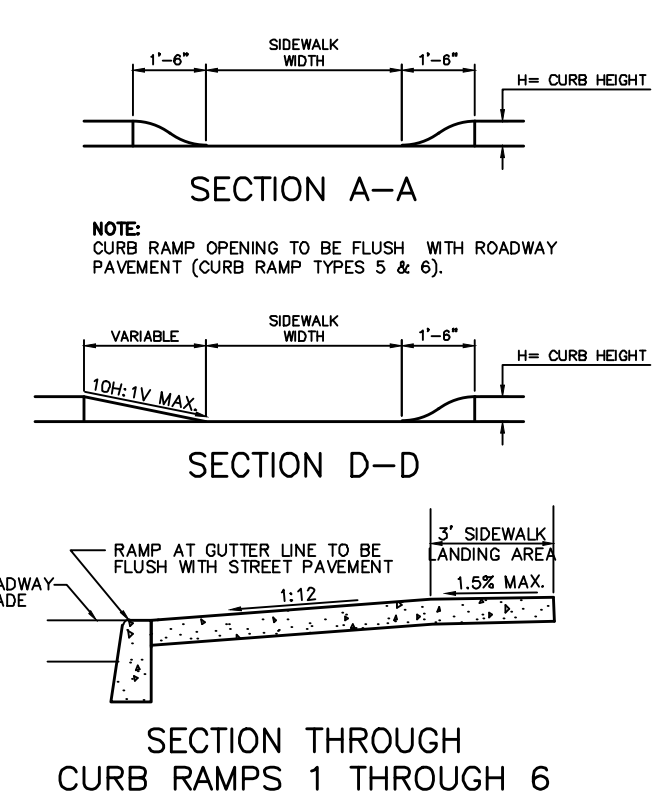
J:\dykstr\PROJ\22-22004\Draw\Preliminary Site Plan.dwg 03/10/23 11:11:31 AM, msk, Layout:DETAILS (1)

ADA PARKING STALL STRIPING (NJ)
NOT TO SCALE



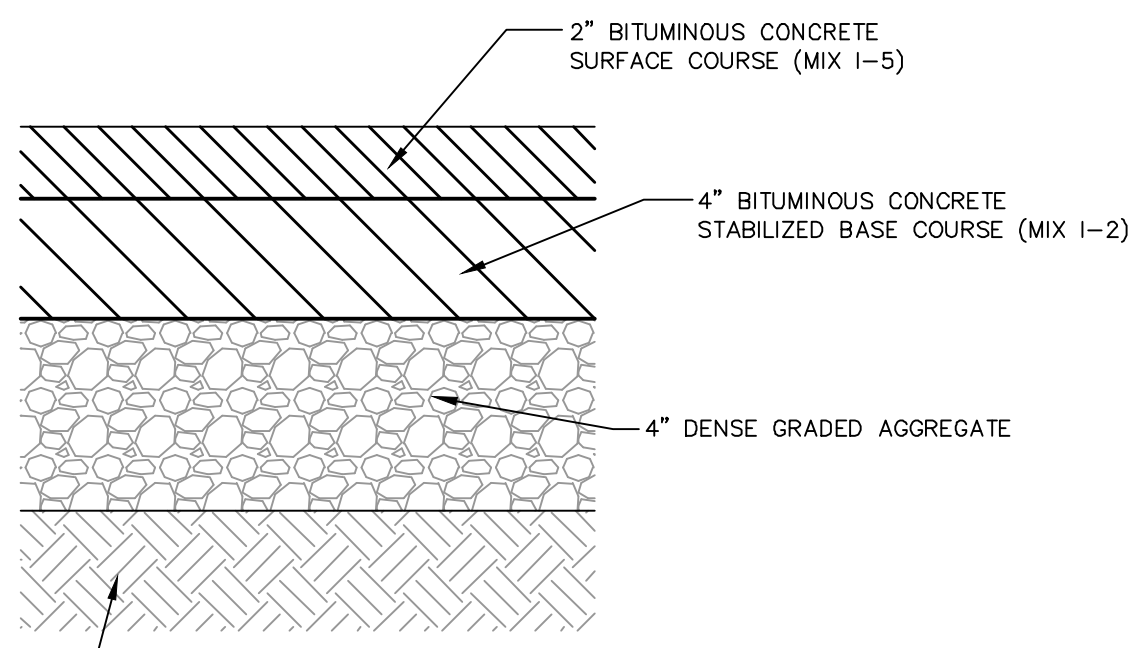
- NOTES:**
1. ALL JOINTS SHALL BE NEATLY CUT WITH MOTORIZED SAW.
 2. JOINTS SHALL BE OFFSET A MINIMUM OF 12" TO PREVENT REFLECTIVE CRACKS.

ACCESSIBLE PARKING SIGN
N.T.S.



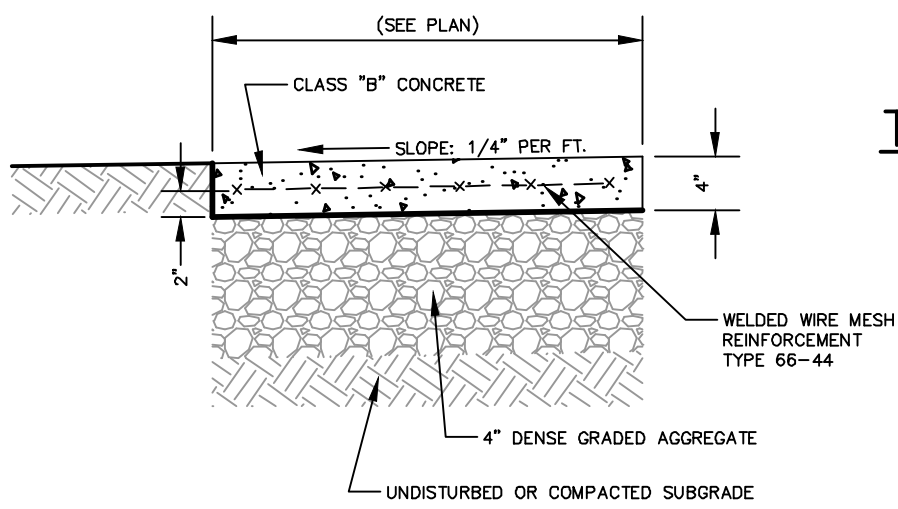
NJDOT CURB RAMP TYPE 6
(CROSSING PARALLEL TO HIGHWAY ONLY)

| CURB RAMP TYPE 2, 5 OR 6 | H INCHES | W FEET |
|--------------------------|----------|--------|
| 1 | 4 | 3 |
| 2 | 4 | 4 |
| 3 | 5 | 5 |
| 4 | 6 | 6 |
| 5 | 7 | 7 |
| 6 | 8 | 8 |
| 7 | 9 | 9 |



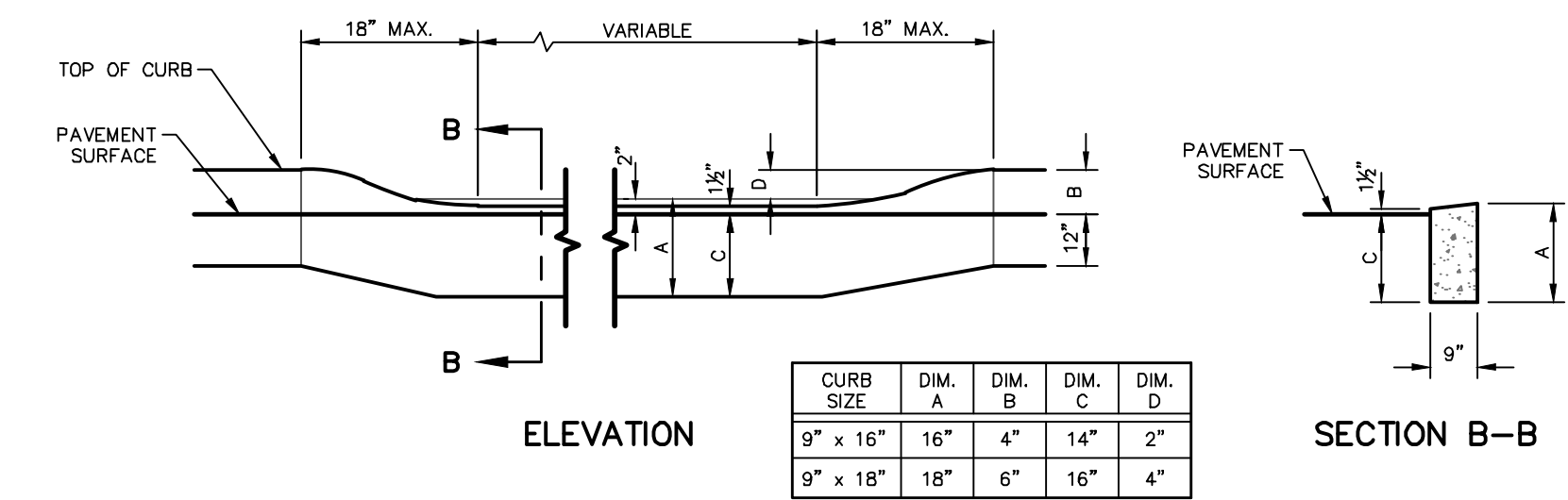
COMPACTED SUBGRADE TO 95% DENSITY - CONTRACTOR SHALL VERIFY THAT SUBGRADE IS SUFFICIENTLY FIRM TO SUPPORT ANTICIPATED TRAFFIC LOADS. IF SOIL IS CLAY, CLAY LOAM, SILT OR SIMILAR SOIL TYPE, ENGINEER SHALL BE CONSULTED FOR POSSIBLE INCREASE IN PAVEMENT THICKNESS.

PAVEMENT SECTION
NOT TO SCALE



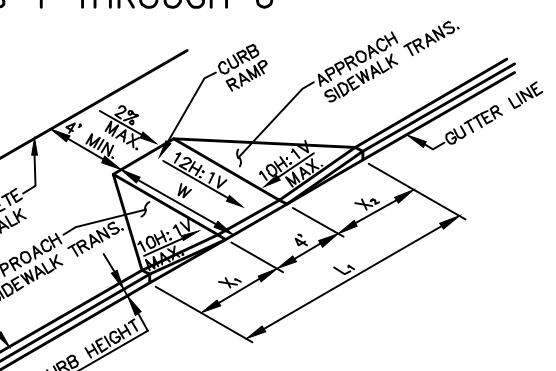
CONCRETE SIDEWALK
NOT TO SCALE

TYPICAL TRENCH SECTION AND PAVEMENT REPAIR DETAIL
NOT TO SCALE

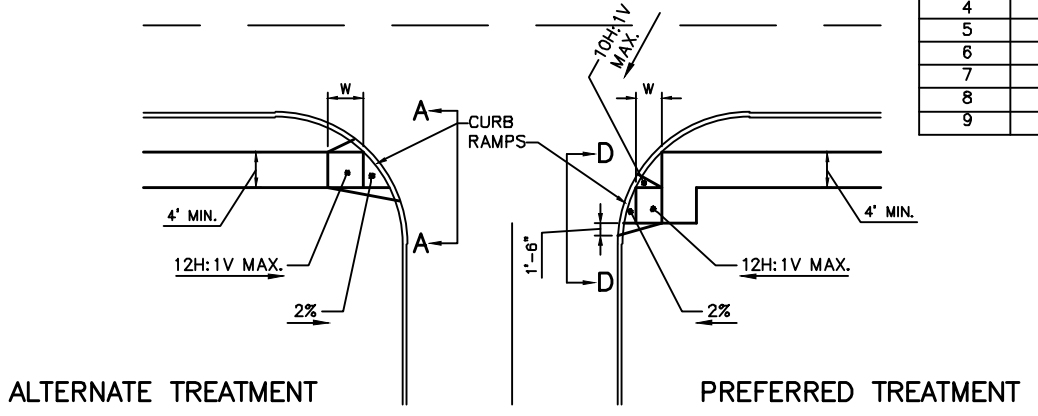


| CURB SIZE | DIM. A | DIM. B | DIM. C | DIM. D |
|-----------|--------|--------|--------|--------|
| 9" x 16" | 16" | 4" | 14" | 2" |
| 9" x 18" | 18" | 6" | 16" | 4" |

| CURB RAMP TYPE 1 | H INCHES | X FEET | L FEET | W FEET |
|------------------|----------|--------|--------|--------|
| 1 | 3 | 2.5 | 3.0 | 3 |
| 2 | 4 | 3.3 | 4.0 | 4 |
| 3 | 5 | 4.2 | 5.0 | 5 |
| 4 | 6 | 5.0 | 6.0 | 6 |
| 5 | 7 | 5.8 | 7.0 | 7 |
| 6 | 8 | 6.7 | 8.0 | 8 |
| 7 | 9 | 7.5 | 9.0 | 9 |



NJDOT CURB RAMP TYPE 1



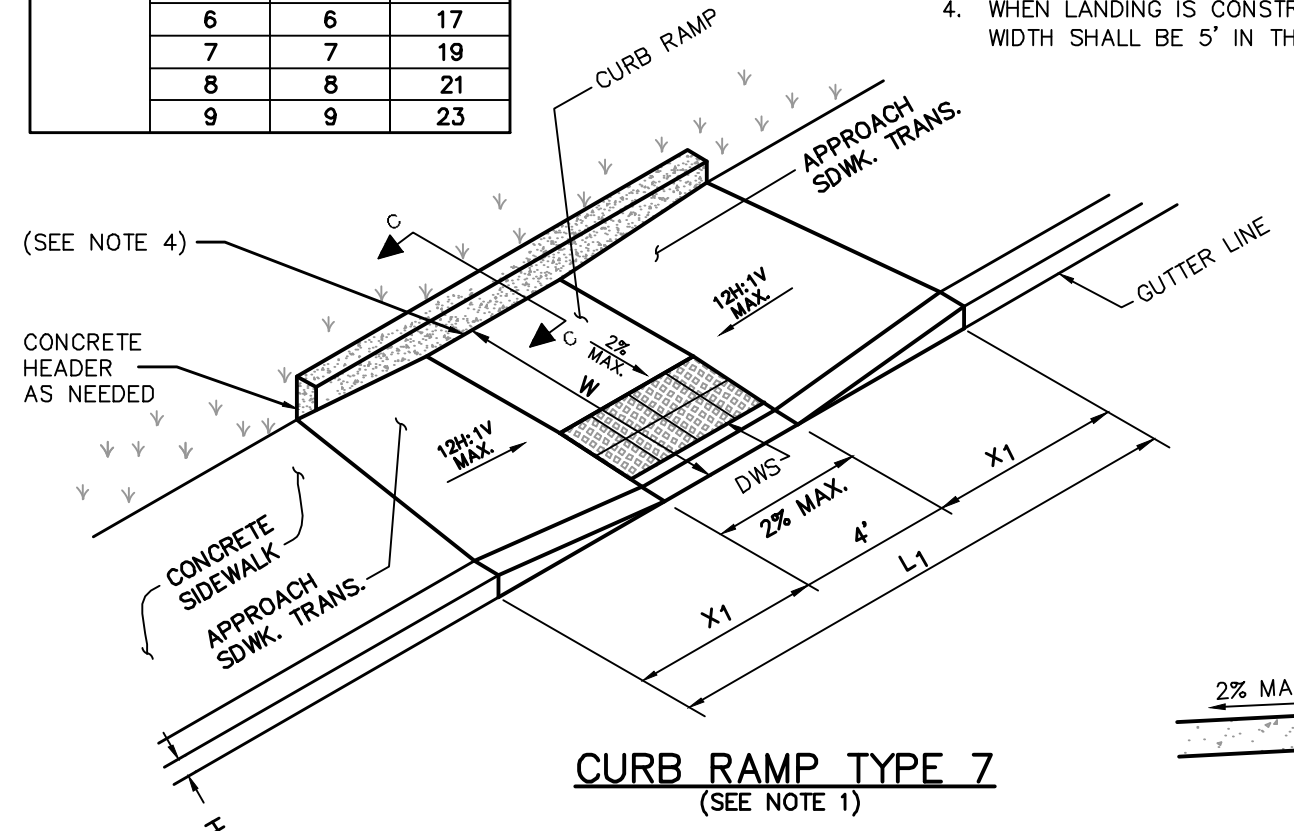
NJDOT CURB RAMP TYPE 5
(CROSSING PARALLEL TO HIGHWAY ONLY)

PUBLIC SIDEWALK CURB RAMPS
N.T.S.

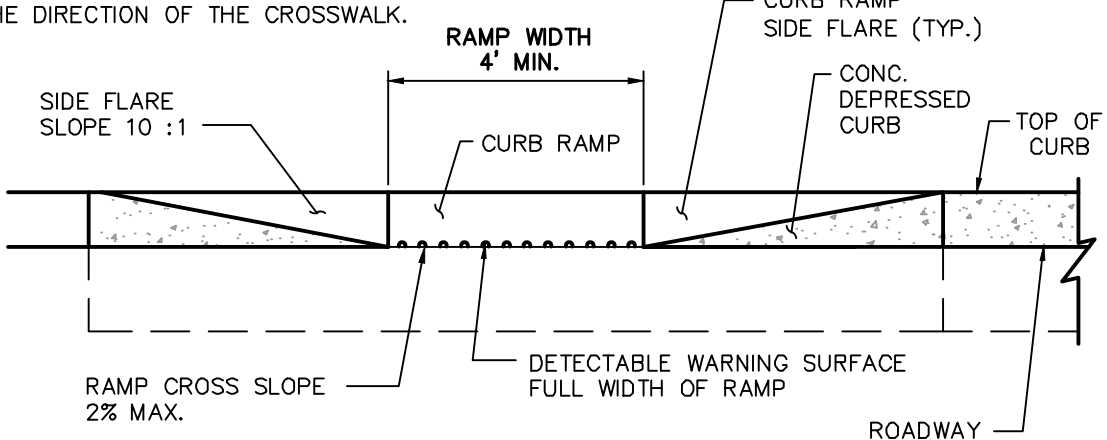
TYPE 7 NOTES:

1. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
2. IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT SIDEWALK TRANSITION.
3. THIS TYPE CAN ALSO BE USED AT CURB RETURNS.
4. WHEN LANDING IS CONSTRAINED BY CURB OR WALL, THE MINIMUM WIDTH SHALL BE 5' IN THE DIRECTION OF THE CROSSWALK.

| CURB RAMP TYPE 7 | W FEET | H FEET | X1 FEET | L1 FEET |
|------------------|--------|--------|---------|---------|
| 1 | 5 | 5 | 3 | 11 |
| 2 | 6 | 6 | 4 | 13 |
| 3 | 7 | 7 | 5 | 15 |
| 4 | 8 | 8 | 6 | 17 |
| 5 | 9 | 9 | 7 | 19 |
| 6 | 10 | 10 | 8 | 21 |
| 7 | 11 | 11 | 9 | 23 |

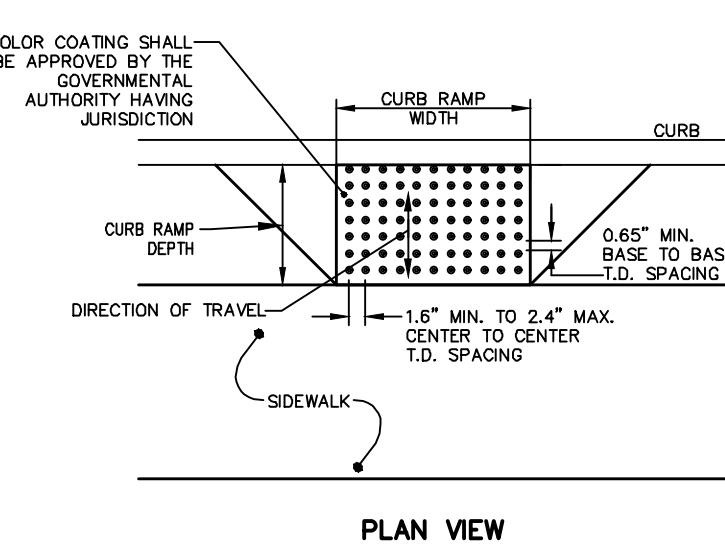


CURB RAMP TYPE 7
(SEE NOTE 1)

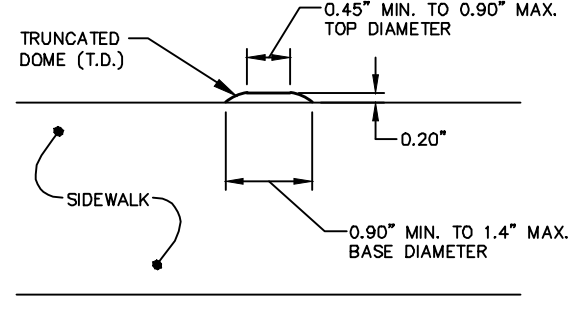


ELEVATION TYPE 7

SECTION C-C
CURB RAMP TYPE 7 DETAILS
N.T.S.



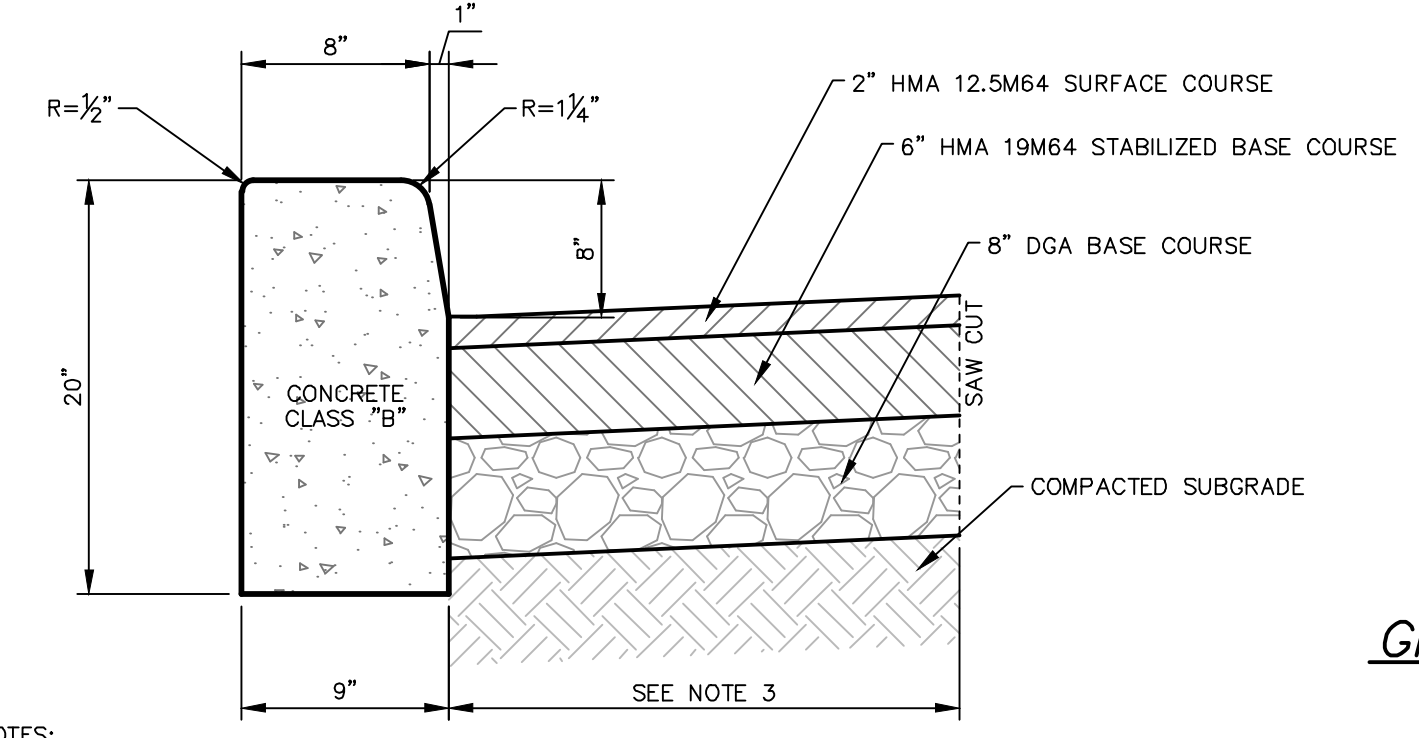
PLAN VIEW



ELEVATION

- NOTES:**
1. DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT ALL CURB RAMPS.
 2. DETECTABLE WARNING SURFACES SHALL BE COLOR COATED AS REQUIRED BY THE GOVERNMENTAL AUTHORITY HAVING JURISDICTION AND PROVIDE 70% COLOR CONTRAST AGAINST RAMP MATERIAL.
 3. DETECTABLE WARNING SURFACE SHALL BE EITHER SURFACE MOUNT OR CAST-IN-PLACE AS REQUIRED BY GOVERNMENTAL AUTHORITY HAVING JURISDICTION.

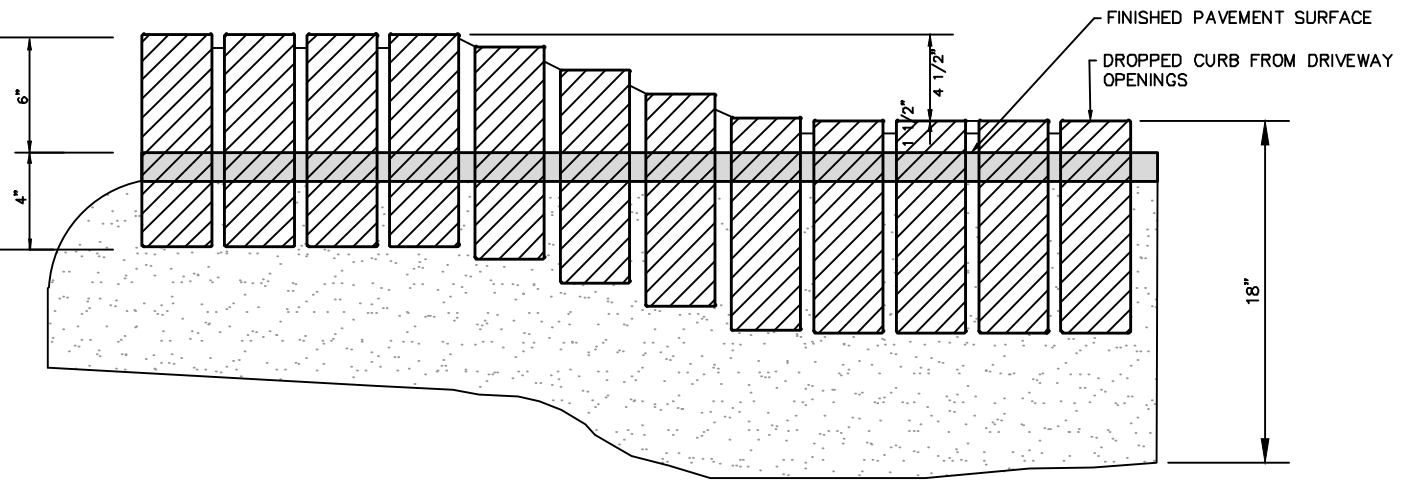
DETECTABLE WARNING SURFACE
NOT TO SCALE



- NOTES:**
1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER AKASHTO DESIGNATION M 213 RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 2. DEPRESSED CURB AT DRIVEWAYS PER 605.02, NJDOT STD SPEC. FOR ROAD AND BRIDGE CONSTRUCTION, 1989.
 3. IN AREAS EXISTING PAVEMENT IS TO REMAIN, A 2'-FOOT WIDE PAVEMENT REPAIR STRIP SHALL BE CONSTRUCTED ALONG THE PROPOSED CURB. THE FOLLOWING ITEMS OF WORK WITHIN THE REPAIR STRIP ARE INCLUDED UNDER 9"x20" CONCRETE VERTICAL CURB:
 - SAWCUT
 - CONCRETE CURING AND SEALING COMPOUND
 - BACKFILL MATERIAL
 - COMPACTED SUBGRADE
 - REMOVAL OF MONOLITHIC CONCRETE CURB AND GUTTER (IF REQUIRED)

9" x 20" CONCRETE VERTICAL CURB
WITHIN COUNTY RIGHT-OF-WAY
NOT TO SCALE

GRANITE BLOCK CURB (ON-SITE USE ONLY)
NOT TO SCALE



GRANITE BLOCK DEPRESSED CURB (ON-SITE USE ONLY)
NOT TO SCALE

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CONSTRUCTION NOTES & DETAILS

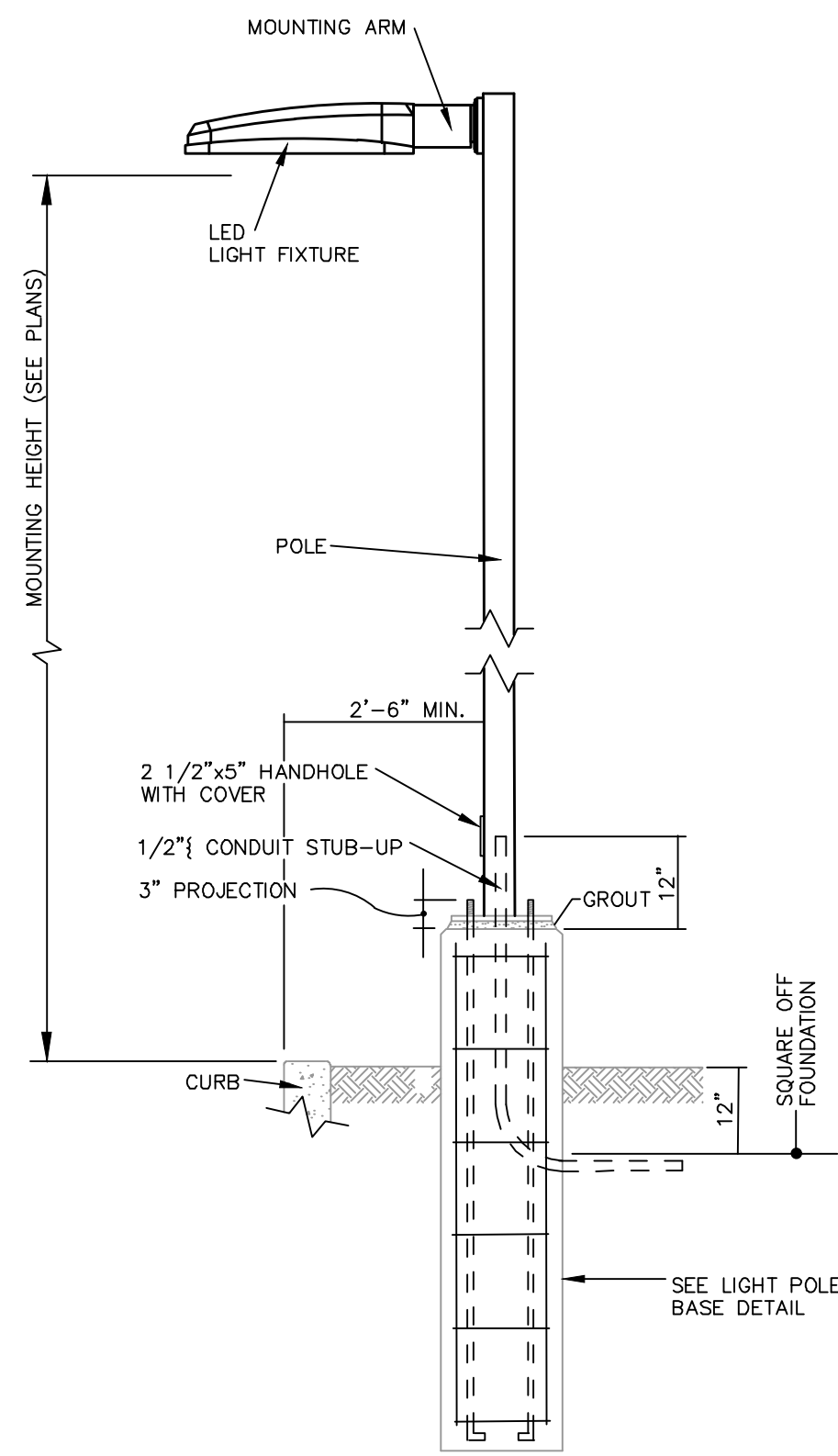
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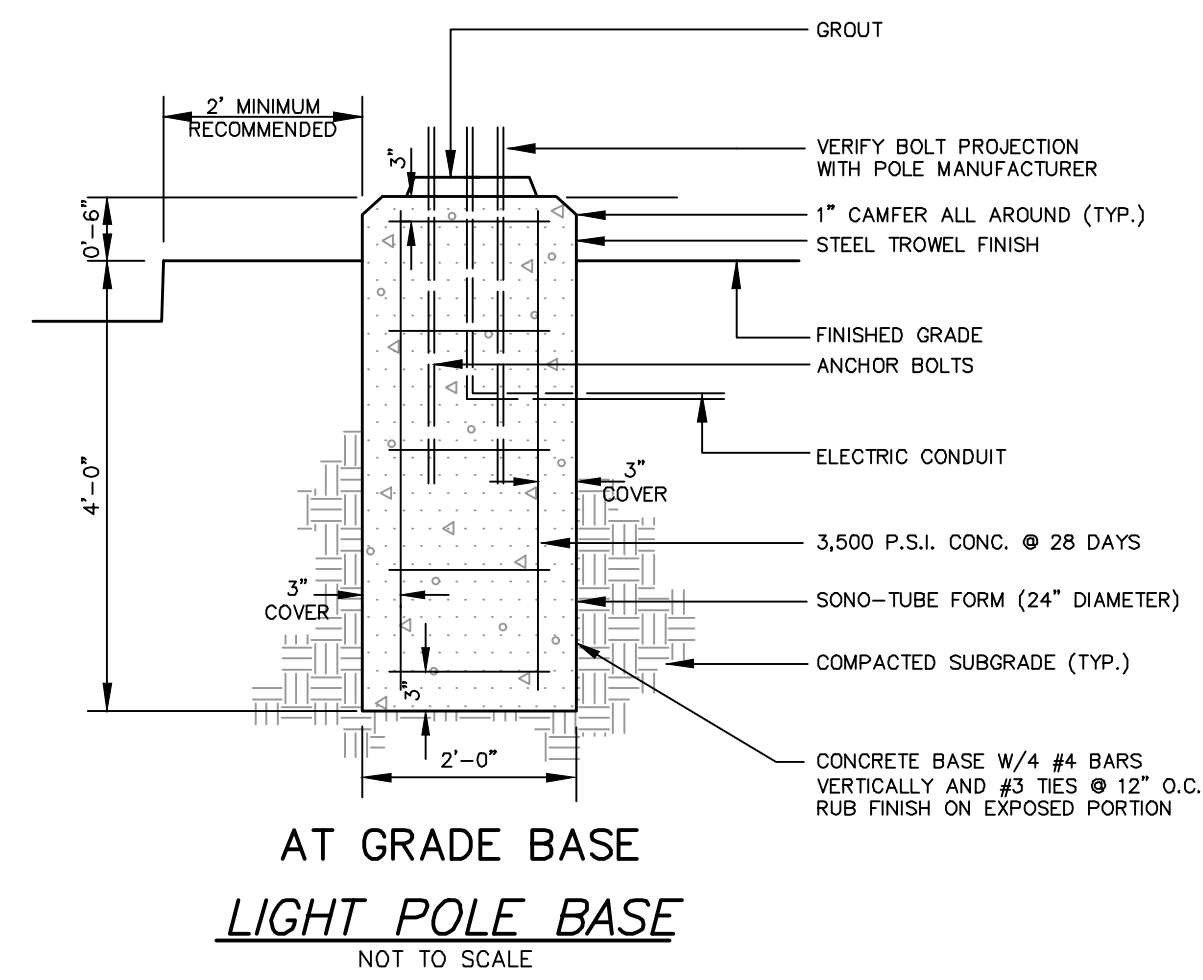
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JOB NO.: 22004
DRAWN BY: MDF
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SHEET NO. 8 of 9

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TYPICAL POLE-MOUNTED LIGHT FIXTURE DETAIL
NOT TO SCALE



AT GRADE BASE LIGHT POLE BASE
NOT TO SCALE

GROUND COVER MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY

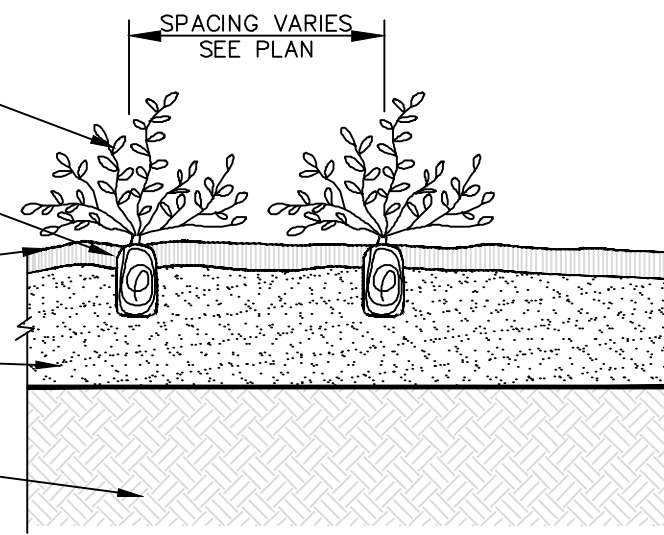
GROUND COVER PLANT - SEE PLANT LIST FOR SPECIES AND SPACING

2"-4" LAYER OF SHREDDED MULCH UNIFORMLY SPREAD COVERING ENTIRE PLANTING BED. KEEP MULCH 1"-2" BACK FROM TRUNK

FINISHED GRADE

MINIMUM 8" TOPSOIL

EXISTING SOIL TO BE LOOSENED TO A MINIMUM DEPTH OF 4 INCHES



GROUNDCOVER PLANTING DETAIL
N.T.S.

NOTES:
DO NOT PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES

THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).

REMOVE BURLAP FROM TOP 1/3 OF BALL, OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS AS SPECIFIED.

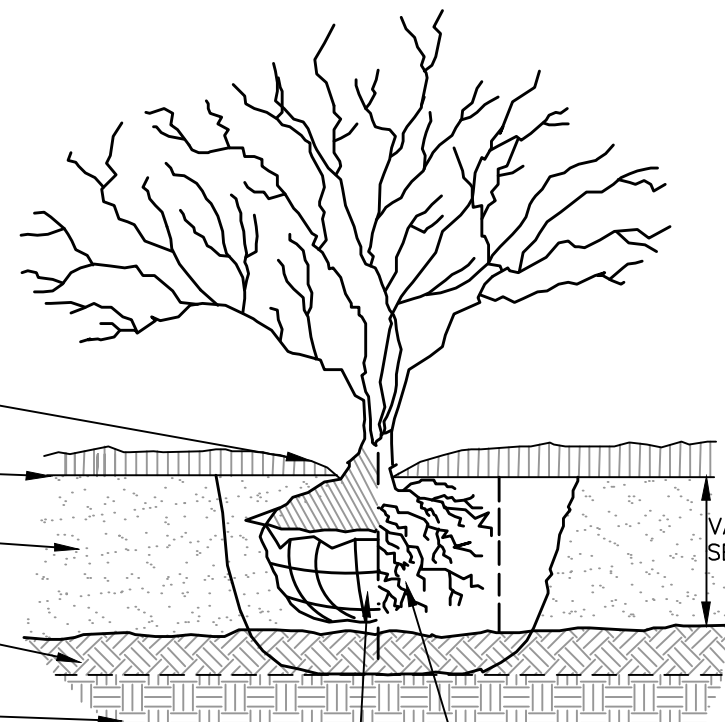
KEEP MULCH 1" TO 2" BACK FROM TRUNK

4" OF MULCH

PLANT MIXTURE AS SPECIFIED

SCARIFY TO 4" DEPTH AND RECOMPACT

SUBGRADE



SHRUB PLANTING DETAIL
N.T.S.

NOTES:

1. TREES SHALL BE PLACED TWO FEET FROM FACE OF CURB WITH SIDEWALKS AND EIGHT FEET WHERE NO SIDEWALKS EXIST OR ARE PROPOSED.

2. PLANTING DISTANCE BETWEEN TREES SHALL BE 50 FEET MAXIMUM EXCEPT THAT SOME FLOWERING TREES MAY BE PLANTED A MAXIMUM DISTANCE OF 30 FEET APART.

3. NO SHADE TREES TO BE PLACED IN SIGHT TRIANGLE EASEMENTS OR WITHIN 25 FEET OF THE INTERSECTION OF TWO STREETS.

4. MINIMUM CALIPER OF TREES SHALL BE 2.5 INCHES MEASURED 1 FOOT ABOVE GROUND.

5. MINIMUM HEIGHT OF TREES SHALL BE 11 FEET, EXCEPT FLOWERING TREES SHALL NOT BE LESS THAN 6 FEET.

6. ALL TREES SHALL BE BALLED AND BURLAPPED, SHALL BE OF NURSERY STOCK, SHALL BE OF SYMMETRICAL GROWTH; SHALL BE FREE OF DISEASE, INSECTS, AND MECHANICAL INJURY; SHALL BE STRAIGHT OF STEM WITH A WELL BALANCED TOP; SHALL BE OF VIGOROUS GROWTH; AND SHALL HAVE A WELL DEVELOPED ROOT SYSTEM. THE TRUNKS OF THE SHADE TREES (EXCEPT FLOWERING TREES) ARE TO BE FREE BRANCHES TO A HEIGHT OF AT LEAST 7 FEET FROM THE GROUND AND THE FIRST BRANCH SHALL NOT BE OVER 9 FEET FROM THE GROUND.

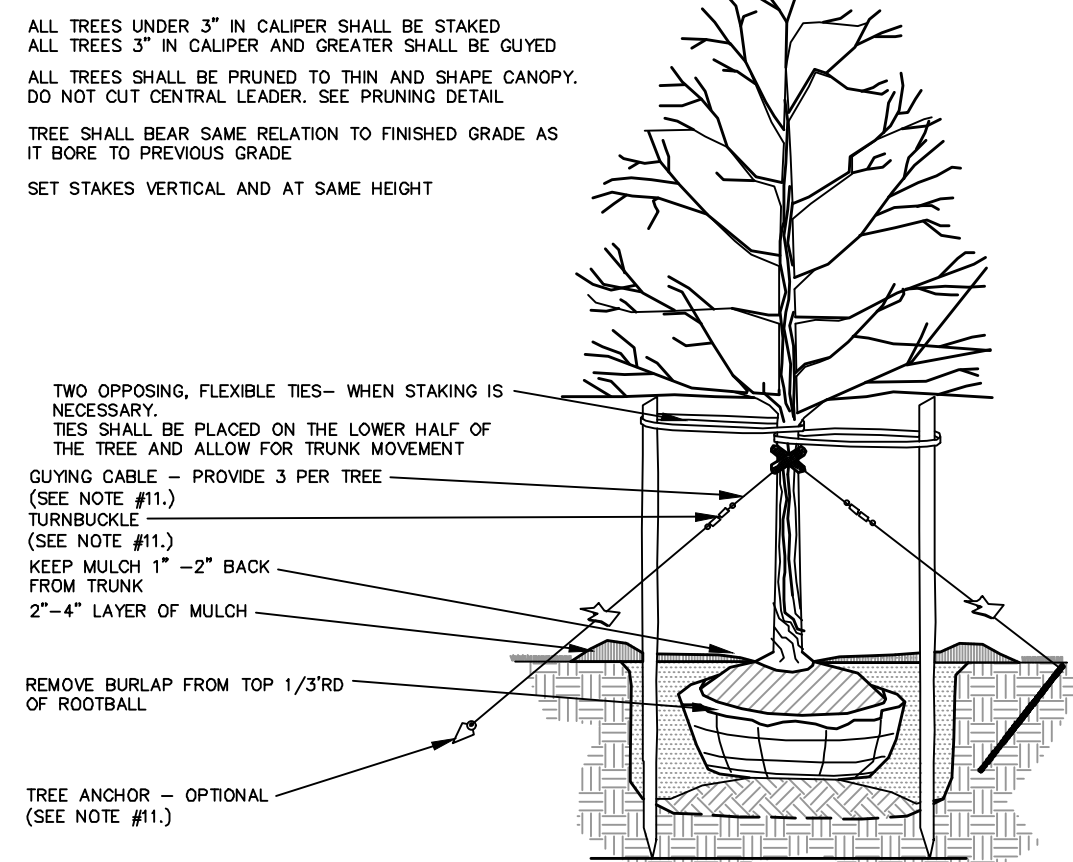
7. THE PLANTING HOLE SHALL BE ONE FOOT IN DIAMETER GREATER THAN THE ROOT BALL AND 6 INCHES DEEPER.

8. THE SOIL FOR BACKFILLING SHALL BE A MIXTURE OF THREE PARTS LOAMY SOIL AND TWO PARTS COARSE SAND AND ONE PART HUMUS.

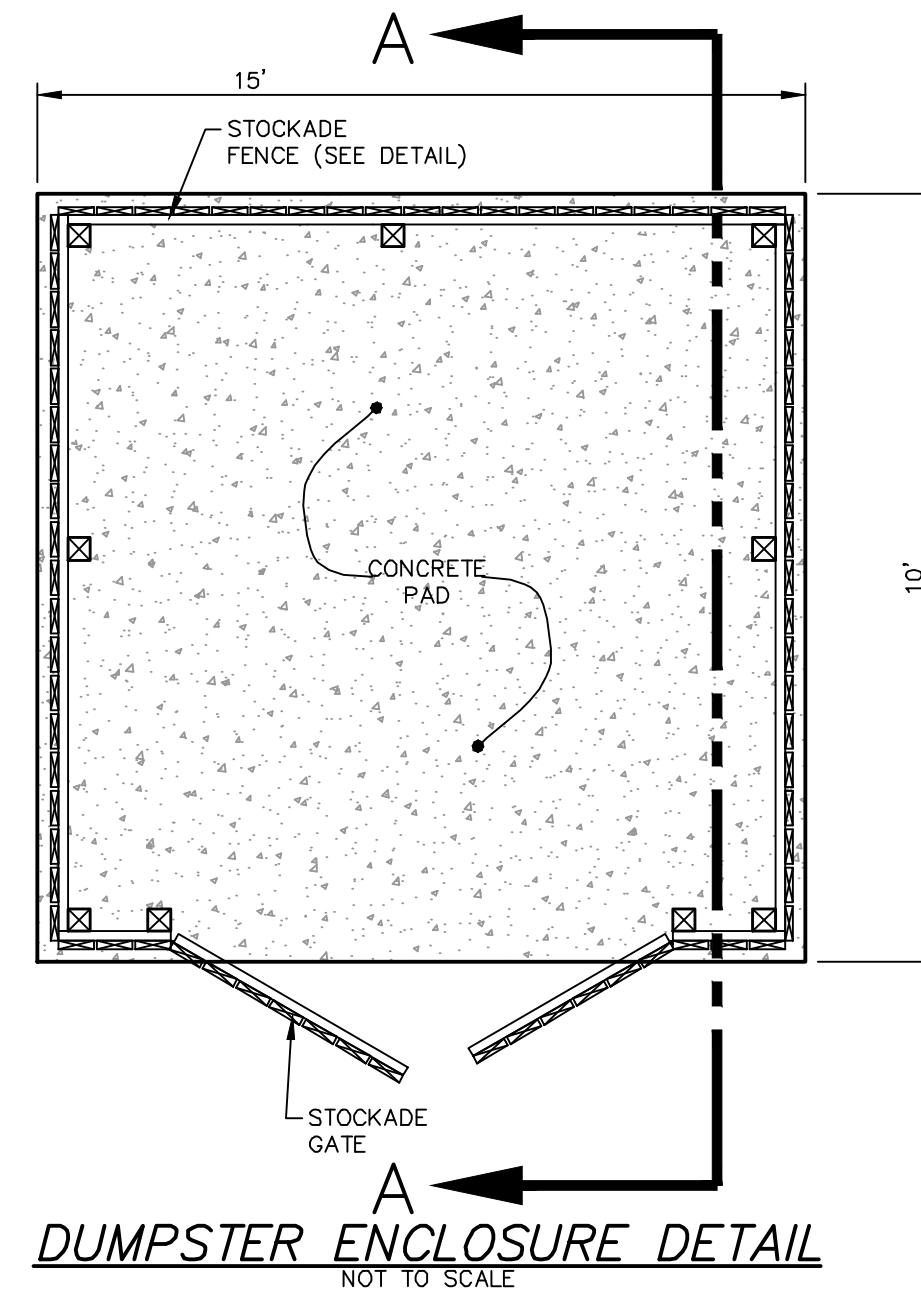
9. AFTER BACKFILLING THE SURFACE OF THE PLANTING HOLE SHALL BE MULCHED WITH WOOD CHIPS, HAY, STRAW OR OTHER SUITABLE MATERIAL.

10. WHEN NECESSARY, EACH TREE SHALL BE STAKED WITH STAKES OF LOCUST, CEDAR OR OAK 2" X 2" X 6" TO 8"; FASTENING AND SUPPORT SHALL BE BY MEANS OF TAPE ONE AND ONE HALF INCHES TO TWO INCHES WIDE.

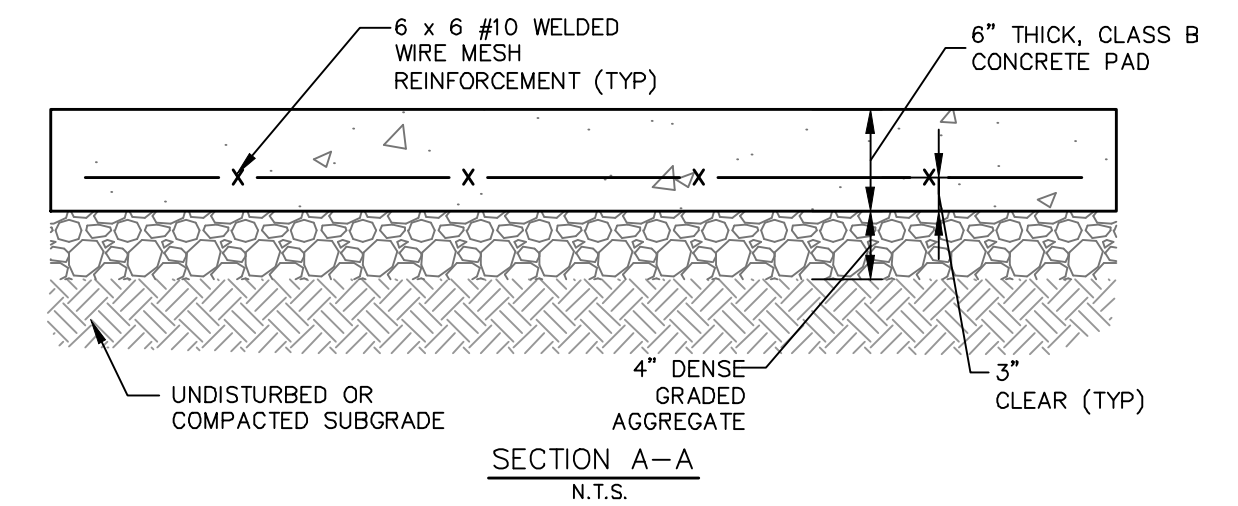
11. WHEN STAKING IS NECESSARY, TREES SHALL BE STAKED WITH TWO, OPPOSING FLEXIBLE TIES AS SHOWN - ONLY UNDER EXTREME WINDY CONDITIONS, GIVING CABLE, TURNBUCKLE AND IF NECESSARY TREE ANCHOR STAKING SYSTEM SHALL BE USED.



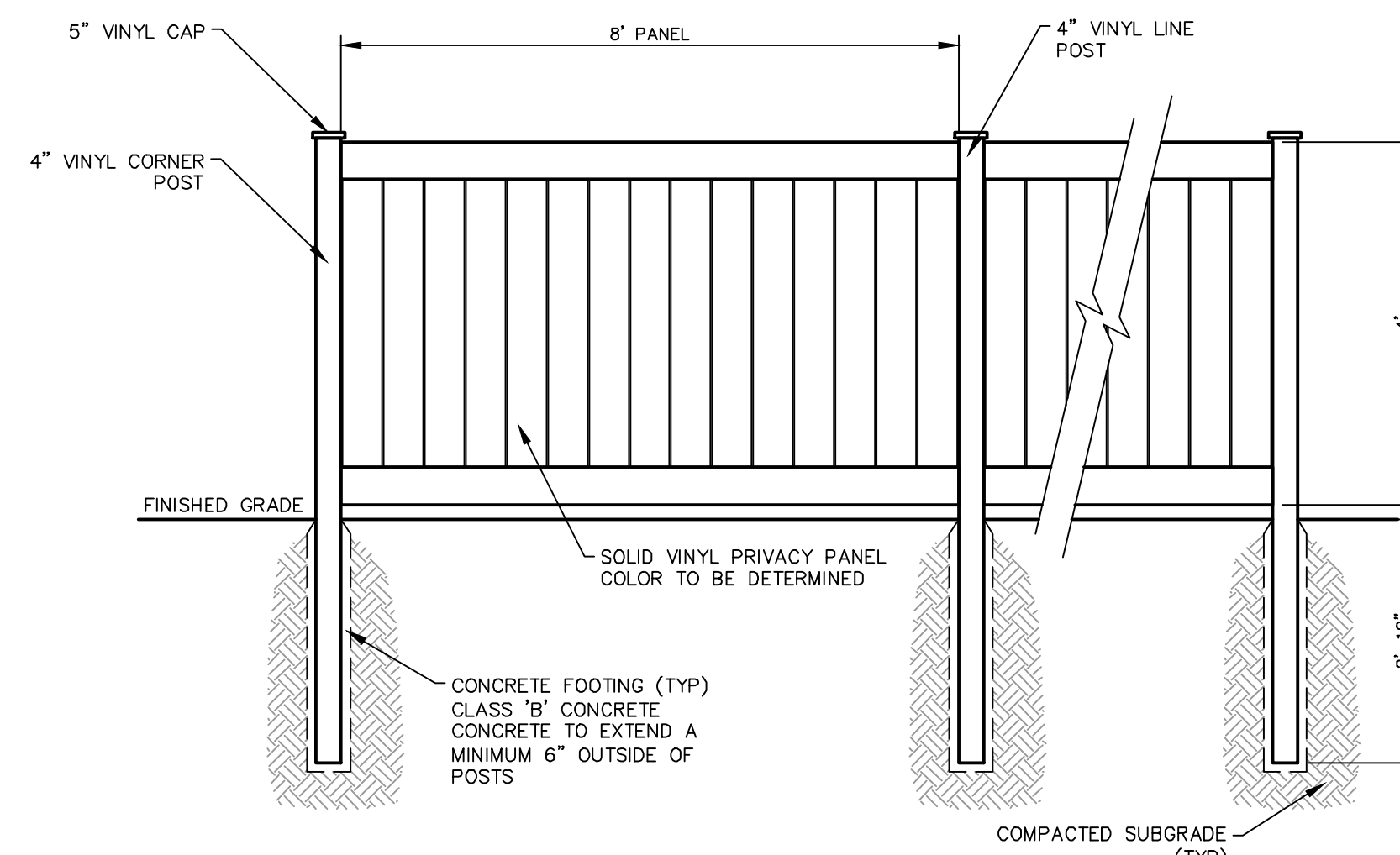
TREE STAKING DETAIL
N.T.S.



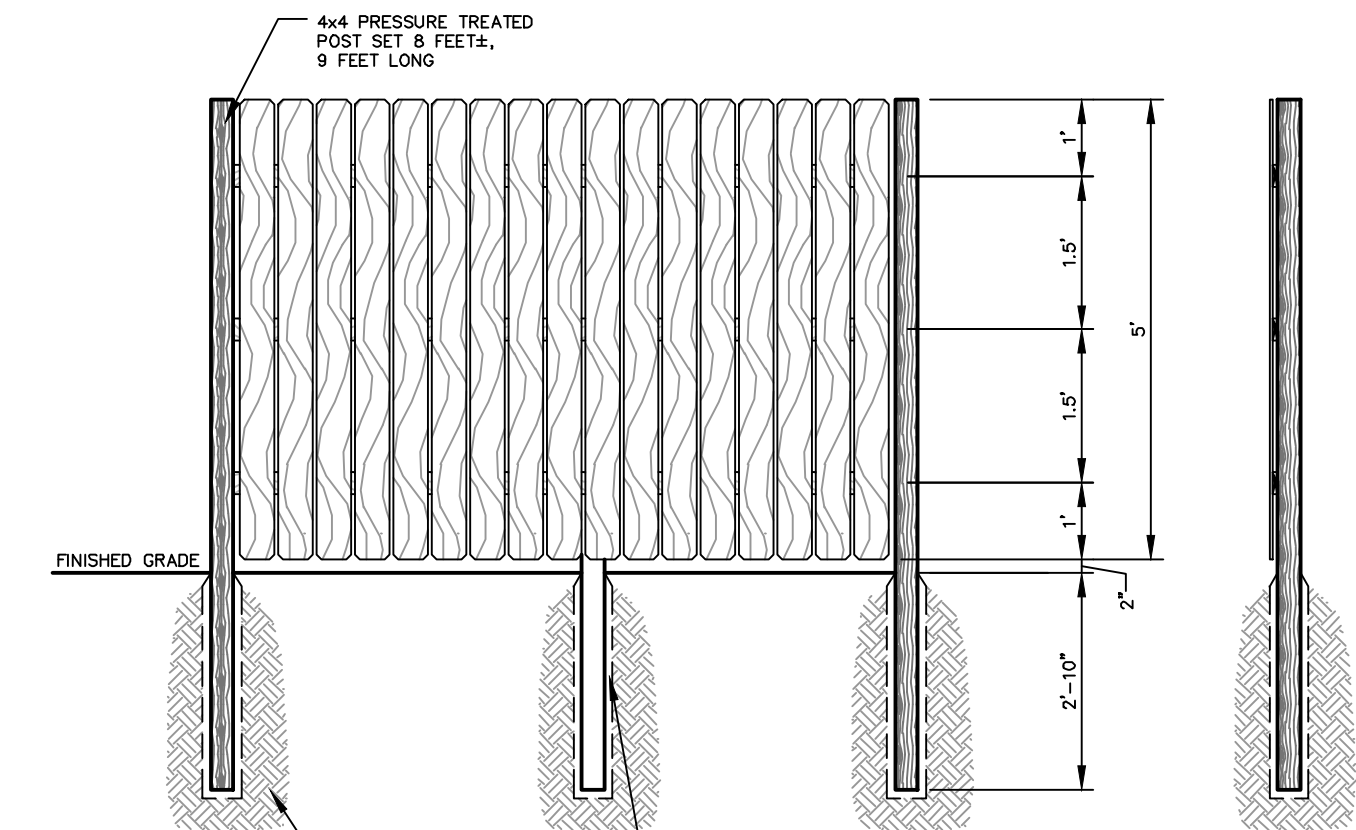
DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



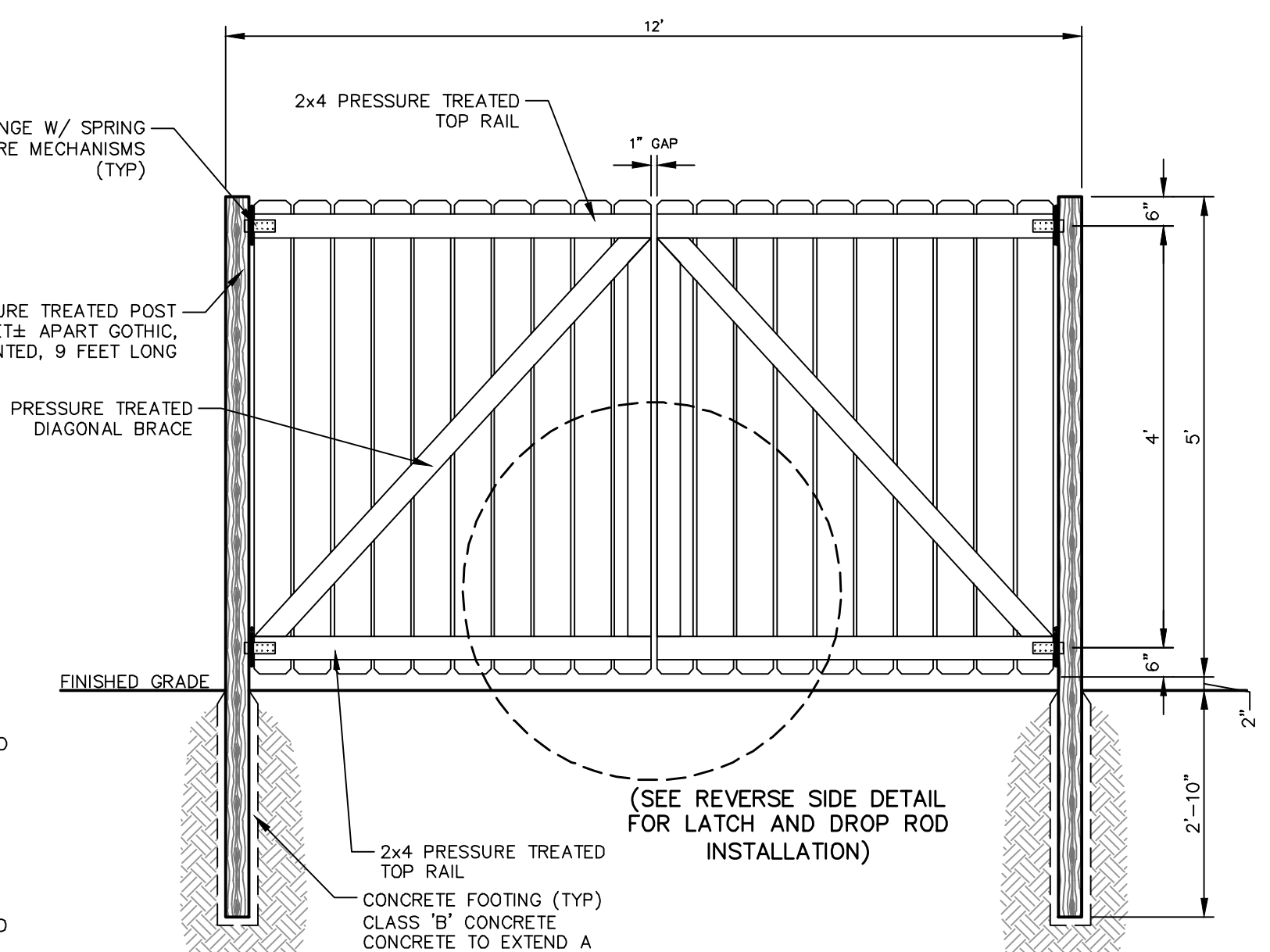
SECTION A-A
N.T.S.



VINYL PRIVACY FENCE DETAIL
NOT TO SCALE

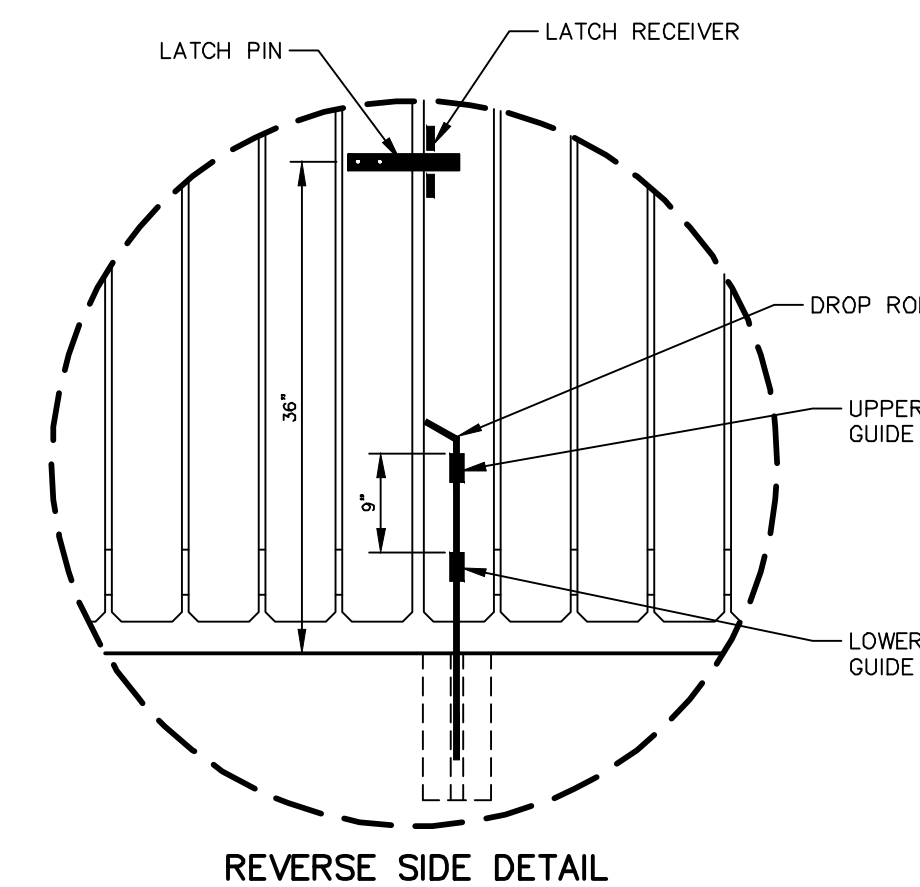


STOCKADE FENCE AT DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



INSIDE ELEVATION

STOCKADE FENCE GATE DETAIL
NOT TO SCALE



REVERSE SIDE DETAIL

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